



**AMHERST PLANNING BOARD**  
**Wednesday, October 21, 2020, 6:30 PM**

Pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, §18, this meeting of the Planning Board is being conducted via remote participation.

**VIRTUAL MEETING:** <https://amherstma.zoom.us/j/91541163529>

**I. MINUTES**

**II. PUBLIC COMMENT PERIOD**

**III. PUBLIC HEARINGS – SITE PLAN REVIEW**

**6:35 PM      SPR 2021-05 – Emily Dickinson Museum – 280 Main Street**

Request Site Plan Review approval to install a permeable pedestrian pathway between the two historic homes, including lighting the pathway, and to install site lighting to illuminate the facades of both homes, and some tree removal (Map 14B, Parcels 26 & 27, R-G zoning district)

**IV. OLD BUSINESS**

- A.** Apple Brook Cluster Subdivision – SUB2007-00006 – currently known as Hartwell Farm Cluster Subdivision – Request the release of Lot 7
- B.** Topics not reasonably anticipated 48 hours prior to the meeting

**V. NEW BUSINESS**

Topics not reasonably anticipated 48 hours prior to the meeting

**VI. FORM A (ANR) SUBDIVISION APPLICATIONS**

**VII. UPCOMING ZBA APPLICATIONS**

**VIII. UPCOMING SPP/SPR/SUB APPLICATIONS**

**IX. PLANNING BOARD COMMITTEE & LIAISON REPORTS**

Pioneer Valley Planning Commission – Jack Jemsek and Alternate

Community Preservation Act Committee – Andrew MacDougall

Agricultural Commission – vacant (Doug Marshall nominated; awaiting appointment)

Design Review Board – vacant (Thom Long nominated; awaiting appointment)

Zoning Subcommittee – Maria Chao and Janet McGowan

**X. REPORT OF THE CHAIR**

**XI. REPORT OF STAFF**

**XII. ADJOURNMENT**

**AMHERST PLANNING BOARD**  
**Wednesday, October 7, 2020, 6:30 PM**

Pursuant to Governor Baker’s March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, §18, this meeting of the Planning Board was conducted via remote participation.

**VIRTUAL MEETING:** <https://amherstma.zoom.us/j/99415188185>

The Minutes of the Planning Board are not intended to be a transcript of the meeting. The recorded meeting can be viewed here [https://youtu.be/yQwvz\\_kCuCE](https://youtu.be/yQwvz_kCuCE)

**MINUTES**

**Planning Board Members Participating Remotely and Present by Roll Call:**

Maria Chao, Jack Jemsek – Chair, Thom Long, Andrew MacDougall, Doug Marshall, Janet McGowan, Joanna Neumann (7:52 PM)

**Absent:** None

**Staff Participating Remotely:**

Christine Brestrup, Planning Director  
Pamela Field-Sadler, Administrative Assistant

**Others Participating Remotely:**

Tom Hartman, Principal Architect – C&H Architects  
Mandi Jo Hanneke, Chair - Community Resources Committee of the Town Council  
Dave Ziomek, Asst. Town Manager/Director of Conservation and Development

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**6:32 pm:** Chair Jack Jemsek opened the meeting. Mr. Jemsek announced this Planning Board (Board) meeting is being conducted via remote participation. Mr. Jemsek explained the process by which to be recognized to speak or submit a public comment.

Mr. Jemsek determined by roll call that all Board members were present with the exception of Ms. Neumann.

**I. MINUTES**

**1. September 16, 2020 Minutes**

The Board discussed an amendment to page 2 of the minutes suggested by Mr. MacDougall. Ms. Brestrup, as a response to a concern she received from Ms. McGowan via email, suggested adding the dates of the Board meetings which include discussions regarding the Amherst Hills Subdivision.

**Motion:** Mr. Marshall made the motion to approve the September 16, 2020 Minutes as amended. Ms. McGowan seconded the motion.

**Roll Call Vote of the Planning Board:**

Chao – yes; Jemsek – yes; Long – yes; MacDougall – yes; Marshall – yes;  
McGowan – yes (6-0-0 motion approved)

**II. PUBLIC COMMENT PERIOD – None**

**III. PUBLIC HEARING – SITE PLAN REVIEW**

**SPR 2021-04 – Kestrel Land Trust – 37 Bay Road**

Request Site Plan Review approval to convert a single-family home into an office for a non-profit institution, under Section 3.330.0 of the Zoning Bylaw, including various site improvements

(Map 25B, Parcel 20, FPC, R-O & R-LD zoning district)

**6:40 p.m.** Mr. Jemsek read the preamble and opened the public hearing for SPR 2021-04 – Kestrel Land Trust – 37 Bay Road and read the project description. There were no Board disclosures.

Tom Hartman, Principal Architect – C&H Architects introduced himself as the representative for Kestrel Land Trust (Kestrel), and disclosed that Kristin DeBoer, Executive Director of Kestrel, is his wife. Mr. Hartman stated this project is a change in use from the existing single-family house to a non-profit office. Kestrel purchased this property several years ago; a land deal was completed and the town now owns the pond.

This project was reviewed by the Conservation Commission on September 23, 2020 and received a favorable decision with a couple minor conditions such as notification of when the project starts, when the project ends, and the requirement to lay some wood chips, hay and seed on the pathway. The project will go before the Historical Commission next week for Demolition Delay review for accessory structures (sheds).

Mr. Hartman shared the site plans with the Board and pointed out the long, uphill driveway that leads to the existing house. He also showed the 100' boundary line from the pond, and the 200' boundary line from Plum Brook once it leaves the pond.

Mr. Hartman provided the following regarding the Scope of Work for the project:

- Provide an accessible public entrance that is required by the building code for any change of use.
- The removal of 3 sheds (2 outside the 100' buffer zone and 1 within the 100' buffer zone). Remove a garden fence area and a set of wooden steps both of which are within the 100' buffer zone.
- The existing garage may possibly be removed; the applicant would accept a condition that requires returning to the Board should the decision be made to remove the garage.
- Provide 11 on-site parking spaces, including 2 located in the garage.
- Provide a Fire Department turn around that is trap rock gravel and cleared of snow. Provide signage for Fire Department use only.

- Provide a fire alarm system as a compliance alternative in order to avoid widening the drive from 14' to 20'.
- Provide an accessible, asphalt walkway near the building.
- Rebuild the patio with existing Goshen stone
- Use the Goshen stone to line the new asphalt walk which will become the new accessible entrance.
- Replace the existing door and light in the entrance; the light is under a soffit and should meet dark sky compliance. There is an existing pole light and numerous flood lights around the property.
- A new sign, not to exceed 12 sq. ft., is proposed for the end of the driveway and would not be illuminated.

Mr. Hartman discussed the proposed parking design. He explained that about 2' of existing plantings at the edge of the property would be removed and replaced with trap rock gravel to create five 10'x18' pull-in parking spaces. Additionally there will be two 9'x20' parking spaces and two 9'x18' parking spaces. Mr. Hartman noted that the two 9'x18' parking spaces will be marked for visitors, and although accessible parking is not required for this project because there are less than 15 spaces proposed, these spaces would serve as accessible parking when needed.

The existing septic system has been reviewed and appears to be adequate for the change of use. There is town water that comes up the driveway, and Mr. Hartman believes a supplemental well exists. Mr. Hartman noted the trash and recycling would be stored in the building and brought to the transfer station by the staff.

#### Board Questions

In answering questions from the Board, Mr. Hartman shared the following:

- A 20' wide driveway is required so that fire trucks have ample room to get around cars. The Fire Department has accepted the proposed fire alarm system installation as a compliance alternative to widening the existing 14' wide driveway to 20' wide based on the low occupancy of the building. The Fire Department would be notified directly through the fire alarm system.
- The proposed building is considered a public building by the MA Access Board standards. The entrance is required to be accessible, and there is an accessible path to meeting rooms proposed. A public restroom would not be required unless the project cost exceeds \$75,000. In a future renovation, a public restroom could be easily added.
- 11 parking spaces is the maximum that Mr. Hartman could fit in the parking plan with minimal work. The 2 parking spaces in front of the accessible path would be vacated if necessary. Ms. Brestrup added that there aren't really parking requirements for an office in the R-LD zone, however, 11.3 parking spaces would be required if this were an office space in the downtown area. Ms. Brestrup also referenced Section 7.005 of the Zoning Bylaw (Bylaw).
- The Conservation Commission is requiring the applicant notify them when the project starts and ends, and that any disturbed areas be stabilized with stone or straw and seed. The primary area of disturbance would be the wooden steps and hay bales will be used to manage run-off if needed.

- Ms. Brestrup reported that abutters within 300' of the property had been notified of the proposed project and she has not received any comments. She noted this use is allowed under Section 3.330 of the Bylaw.
- The building will serve as Kestrel's office and the hours would be approximately 8a.m. – 5 p.m.

Site Visit (Brestrup, Chao, MacDougall, Neumann)

Ms. Chao reported the group walked the site and observed the berm area that would be cut back to aid in car turn around. The group observed the walkway to the entrance and saw the door and light proposed to be replaced and the deep roof overhang. The group saw the fenced-in garden area proposed to be removed and learned how large boulders would be used to flank the walkway.

Ms. Chao reported that the group walked down the steep slope from the house to the pond and observed the rotting wood steps and sheds proposed to be removed. The group also observed the proposed fire truck turn around area. Ms. Chao noted that the group learned that the proposed sign would be located at the end of the driveway behind the guardrail where there is currently a mailbox.

Ms. Brestrup pointed out that this project is compliant in regards to lot and building coverage. The driveway portion in the R-O district (25% allowed) accounts for about 7% of lot coverage. The building, driveway and parking in the R-LD (15% allowed) encompasses about 9%. The building coverage is about 4% and 10% is allowed. Ms. Brestrup also said none of the setback requirements would be imposed upon.

Mr. MacDougall added that during the Site Visit the group observed the area to the south of the parking lot where snow would be pushed.

Mr. Hartman clarified that the easement to the pond area would be written to provide vehicle access to the dam for maintenance only and would not include public access. He noted the pond and dam are owned by the town, and there is an existing trail that connects from the rotary around past the dam and then all up through the hills to the range.

Ms. Brestrup noted that this ties in to the property we know as Apple Brook subdivision along West Street that is owned by Paul Cole. Ms. Brestrup believes Mr. Cole intends to donate about 7 acres of property in the subdivision which connects to this trail that goes up over the mountain range. The Epstein property also connects to that trail from the east; eventually the trail will be all connected and able to be used.

Assistant Town Manager/Director of Conservation and Development Dave Ziomek shared that he had been working on this project with Ms. DeBoer for a number of years and the vision has always included Kestrel's office to be located at the existing house. He confirmed that all the trails would eventually connect at Bay Rd. allowing people to get up to the miles of trails on the Mount Holyoke range. Mr. Ziomek noted that kiosks and additional parking areas would be added in the months ahead. He added that a modest parking lot would be added in the Apple Brook subdivision and the town would slightly expand the parking area on Bay Rd. which is at the Sweet Alice Conservation .

Public Comment –None

**Motion:** Mr. Marshall made the motion to close the public hearing for SPR 2021-04 – Kestrel Land Trust – 37 Bay Road. Ms. McGowan seconded the motion.

**Roll Call Vote of the Planning Board:**

Chao – yes; Jemsek – yes; Long – yes; MacDougall – yes; Marshall – yes;  
McGowan – yes (6-0-0 motion approved)

**Draft Conditions**

The Board discussed imposing the following conditions:

1. If use of the property becomes more intense, then the applicant shall return to the Planning Board to discuss the adequacy of the septic system at a public meeting.
2. If the garage is removed and something else is added in its place then the applicant shall return to the Planning Board at a public meeting to show the Board what is being added (such as striping for parking spaces) and to discuss possible changes in site lighting.
3. The handicapped access to the path leading to the front door (when needed) shall not be impeded by cars parked in the parking spaces.

A Board member noted that the garage has flood lights mounted on it to light the site. If the garage were removed, the Board would want to know how the lighting would be managed.

Mr. Hartman noted that the motivation to remove the garage would be to get more parking and it may mean re-striping the whole area.

After discussion, the Board decided not to include a condition about the possible removal of the garage. Therefore, condition #2 will not be included, as drafted.

**Waivers**

- Landscape Plan
- Lighting Plan
- Soil Erosion Plan
- Traffic Impact Statement

**Motion:** Mr. Marshall made the motion to make the finding that the Site Plan Review application meets the relevant criteria of Section 11.24 of the Zoning Bylaw and to approve SPR 2021-04 Kestrel Land Trust – 37 Bay Road requesting to convert a single-family home into an office for a non-profit institution, under Section 3.330.0 of the Zoning Bylaw, including various site improvements with waivers and conditions. Mr. MacDougall seconded the motion.

**Roll Call Vote of the Planning Board:**

Chao – yes; Jemsek – yes; Long – yes; MacDougall – yes; Marshall – yes;

McGowan – yes (6-0-0 to approve with waivers and conditions)

#### IV. OLD BUSINESS

- A. Update on CRC Meeting of September 15, 2020 with Building Commissioner & Planning Director – see link below for video of meeting

[https://www.youtube.com/watch?v=op2q-tHaOxw&list=PLcnmFtV6BPFNMy91aoq\\_IT3gZ9IuNGxli&index=28](https://www.youtube.com/watch?v=op2q-tHaOxw&list=PLcnmFtV6BPFNMy91aoq_IT3gZ9IuNGxli&index=28)

Including discussion with CRC Chair, Mandi Jo Hanneke, & Assistant Town Manager, Dave Ziomek on role of CRC in zoning amendments

Mr. Jemsek said that Mandi Jo Hanneke, CRC Chair and Dave Ziomek, Asst. Town Manager/Director of Conservation and Development had been invited to discuss how the Board, in light of the new form of government, would work with the CRC and Town Council on zoning issues. He also asked what role the Zoning Subcommittee (ZSC), currently on hiatus, might have if reestablished.

Ms. Brestrup said the ZSC has been a subcommittee of the Board for at least 17 years and consisted of 3 to 5 Board members. The ZSC would work on zoning amendments to rectify trouble areas recognized during the Board's project reviews. The ZSC fleshed out the amendments, brought them to the Board for review at various stages and worked on the amendment's final wording prior to the public hearing. The Board was responsible to make a recommendation to Town Meeting whether an amendment should be adopted.

Ms. Brestrup said the ZSC had been meeting regularly with the exception of the summer of 2019. The ZSC stopped meeting in March 2020 as part of the town's response to COVID-19 and is currently in a state of hiatus. The ZSC was working on a number of things, but with the new form of government, were finding it difficult to bring a zoning amendment to the Town Council because the previous pathway has not been replaced or clarified in adherence with the new form of government. Ms. Brestrup explained that currently the CRC is interested in working on zoning amendments, so there are questions about whether the ZSC is still relevant, and if not, who is doing the work. This needs to be figured out.

Ms. McGowan noted that the ZSC had been told not to send amendments to the Town Council because they weren't ready. She also said she understood this discussion to be focused on how the CRC, Town Council and Board would be working together on zoning issues, and not the relevance of the ZSC. Ms. Brestrup and Mr. Jemsek agreed that Ms. McGowan's understanding was correct.

Ms. Hanneke said the CRC and the Board have been working together for about a year to establish the pathway of proposed zoning amendments. She said a general flowchart, that may need adjusting, was developed to lay out the public hearing requirements of the MGL and the Charter for a proposed amendment. Ms. Hanneke said that what needs to be determined now is how to work together on developing an amendment before it is ready for a public hearing. Determining this

process is complicated because proposed zoning revisions can come from staff, the CRC, the Board or Town Councilors.

Ms. Hanneke said the CRC is concerned about staff time and how two entities, the CRC and the Board, both tasked to address zoning revisions, will work together. Ms. Hanneke suggested the Board may be best suited to work on specific amendment language, and the CRC and Town Council may potentially be better suited at setting priorities.

Ms. Hanneke said that the type of revision may determine who takes the lead, and a list of priorities incorporating the ideas of Town Councilors, the Board and staff is in development. The list is lengthy and does not have a lot of overlapping ideas. The CRC is reviewing the list and considering time commitment and cost in order to determine which items would produce the best outcomes to support Amherst as it faces the challenges presented by the COVID-19 pandemic. Ms. Hanneke will provide the priorities list document for distribution to the Board. Ms. Hanneke said she envisions that as the staff begins to work on revisions, the Board would have much opportunity to share their expertise and input.

Ms. McGowan asked if there is a component for public outreach. Ms. Hanneke said the CRC is in an information gathering stage and has not discussed public outreach, but that the public would be provided an additional opportunity to share comments when a proposed revision goes before Town Council.

Ms. Neumann joined the meeting at 7:52 p.m.

Ms. Hanneke read the compiled list of suggested priorities and clarified that priorities have not been set at this point. She noted that some of the proposed items relate directly to the Master Plan; other items such as climate action goals are not fully addressed in the Master Plan which because it written 10 years ago. Ms. Hanneke noted there is a connection between the Master Plan and priorities, however, she stressed that time commitment will be a large consideration when determining priorities.

Ms. Hanneke suggested the Board may want to review the compiled list and make recommendations regarding prioritization. She noted within topic areas, such as the Design Review Board, there can be conflicting ideas, and that, again, time consideration to get a revision passed is key. It does not make sense to spend time working on a revision that has no hope in passing.

Mr. Ziomek said we are all still getting to know the new form of government, and that from a staff viewpoint, working with the Town Council, committees and boards collaboratively is key. He noted the relationship between the Master Plan and zoning and said the Master Plan is in good shape. The hope is to move zoning revisions forward in order to be responsive and ready to come out of the pandemic with flexibility. Mr. Ziomek added that from a management standpoint, he does

not support having a ZSC. Mr. Ziomek supports the Board and CRC working closely on zoning revisions. The ZSC could be reestablished later if needed.

The group discussed if the Bylaw revision would be adopted as a whole or in pieces. Ms. Hanneke said she expected that some revisions such as the recodification could be implemented quickly. However, much of the Bylaw is interrelated and some revisions will influence larger changes to the Bylaw and take longer. Ms. Brestrup noted there are two tracks of revisions the staff are working on. One track is the recodification process and the things that make the day to day work difficult, and second are the more substantive revisions such as the flood maps, signs and parking each of which could be brought to Town Council as a piece ready for implementation.

Ms. Brestrup noted that the Energy and Climate Action Committee (ECAC) is working with a consultant to develop a plan by the end of the calendar year. Ms. Brestrup is unsure if any proposed changes would be threaded throughout the Bylaw or if the changes would be in an individual section. Ms. Hanneke added that the ECAC has developed goals and the plan is meant to help meet those goals in the adopted timeframe. She added that the ECAC is considering zoning changes but is unsure of the specificity of the changes. Ms. Brestrup said there needs to be some discussion about if the ECAC's action plan should be incorporated into the Bylaw or if it should be incorporated into the General Bylaw.

Ms. Brestrup explained that the Transportation Plan was incorporated into the Master Plan by a vote of the Board. Her research showed there was the intention by the Board to also incorporate other items such as the Open Space and Recreation Plan, Valley Vision Plan, Housing Markey Study and the Housing Production Plan, however, she is still researching to see if that happened. Ms. Brestrup would recommend the ECAC's plan also be incorporated by reference into the Master Plan, but she is unsure if the ECAC would agree.

Ms. Hanneke confirmed the ECAC is actively meeting. Mr. Jemsek noted that although sustainability is important, it was not on the Board's top 3 of priorities and he hopes Town Council will focus on more urgent priorities.

## B. Master Plan

### 1. MPIC (Master Plan Implementation Committee) – Discussion

Ms. Brestrup explained that Chapter 10 of the Master Plan describes implementation of identified strategies. The plan has been being implemented over the years, but the efforts have not been closely tracked. Establishing MPIC was a responsibility of the Select Board, and although an effort was made in 2011 and 2013 to form MPIC, the committee did not come to fruition. No members were appointed to MPIC.

Ms. Brestrup said she is unsure if establishing MPIC would be a priority for the Town Council, but the Board could form a version of MPIC as a subcommittee of the Board. MPIC is charged with tracking and reporting on how the Master Plan is being implemented. Ms. Brestrup said she is willing to work on this if any Board members are interested.

The Board discussed the public outreach component of the Master Plan. Mr. Marshall suggested that the zoning conversations would go better if there is a wider public awareness of the Master Plan strategies. The Board discussed what public outreach could entail.

The Board discussed what the structure of MPIC might look like and the affect an additional committee would have on staff and their available time. Mr. MacDougall said he was interested in participating on MPIC. Mr. Marshall volunteered to discuss the matrix with Ms. Brestrup and provide a report to the Board.

2. Planning Board statement to Town Council recommending adoption of the Master Plan as presented

The Town Council Chair has requested a memo stating the Board's position in regards to the Master Plan. The Board reviewed an email sent from Ms. Brestrup to Ms. Hanneke which stated that on July 1, 2020 the Board voted to recommend that Town Council consider adopting the Master Plan as is for now and focus the town's attention and resources on the Zoning Bylaw changes, including establishing design guidelines, and revisit the issue of the Master Plan at a later date.

Ms. Brestrup will draft a memo as requested based on the language in the reviewed email of the Board's motion/vote of July 1, 2020 and include a brief description of the Board's July 1, 2020 discussion regarding the Master Plan and a list of the subsequent plans. Ms. Brestrup will forward the draft memo to the Board members for review.

C. Minutes – discussion about what is required for Minutes

The majority of the Board expressed satisfaction with the format of the minutes developed for September 16, 2020.

Ms. McGowan expressed her concern that the September 16, 2020 minutes were too thin, and that her goal for minutes is that they include enough information to meet the legal requirements. Ms. McGowan would like greater detail incorporated into the minutes.

Mr. Marshall said that although he is fine with the September 16, 2020 minutes as written, he respects Ms. McGowan's opinion. Mr. Marshall suggested that more guidance be provided to the staff.

Staff will continue to work adjusting the minute's format keeping discussion summaries short while incorporating details.

D. Topics not reasonably anticipated 48 hours prior to the meeting. - None

**V. NEW BUSINESS**

A. Planning Board Officers' Authorization to Sign Plans per Subdivision Control Law

Ms. Brestrup explained when the Board installs new officers, the Registry of Deeds and the Land Court need to be notified in writing that the new officers are authorized to endorse the approval of plans in accordance with Section 81-P, Chapter 41, M.G.L., the Subdivision Control Law.

**Motion:** Ms. Neumann made the motion to authorize Jack Jemsek, Chair, Doug Marshall, Vice Chair and Maria Chao, Clerk, to endorse the approval of plans in accordance with Section 81-P, Chapter 41, M.G.L., the Subdivision Control Law. Ms. McGowan seconded the motion.

**Roll Call Vote of the Planning Board:**

Chao– yes; Jemsek – yes; Long – yes; MacDougall – yes; Marshall – yes; McGowan – yes; Neumann – yes (7-0-0 to approve)

Ms. Brestrup said she would contact the Board members to arrange a time for them to sign the original notification letters. Mr. MacDougall asked about using electronic signatures. Ms. Brestrup said she believes that in this case, wet signatures are required.

B. Topics not reasonably anticipated 48 hours prior to the meeting - None

**VI. FORM A (ANR) SUBDIVISION APPLICATIONS - None**

**VII. UPCOMING ZBA APPLICATIONS - None**

**VIII. UPCOMING SPP/SPR/SUB APPLICATIONS**

Ms. Brestrup reported that the Emily Dickinson Museum has submitted an SPR application requesting to install a ground lit pathway between the Homestead and the Evergreens and to illuminate the facades of both historical buildings.

**IX. PLANNING BOARD COMMITTEE & LIAISON REPORTS**

**Pioneer Valley Planning Commission** – Jack Jemsek reported that a regular meeting of the PVPC would be held on October 8, 2020. He noted that Monica Moran, PVPC Manager of Domestic Violence Prevention Programs, would lead a discussion regarding the impact of COVID-19 on domestic violence and the PVPC's response.

**Community Preservation Act Committee** – Mr. MacDougall reported he has not received an appointment letter to CPAC yet.

**Agricultural Commission** – Mr. Marshall reported he has not received an appointment letter to the Agricultural Commission yet.

**Design Review Board** – Mr. Long reported he has not received an appointment letter to the DRB yet.

**Zoning Subcommittee – Maria Chao and Janet McGowan – None**

- X. REPORT OF THE CHAIR** – Mr. Jemsek asked about any update regarding the Amherst Hills Subdivision. Ms. Brestrup reported she believes the developer attended the September 23, 2020 Conservation Commission meeting. The Conservation Commission requested a Vernal Pool peer review and the Wetlands Coordinator hopes to have an update regarding that review on October 14, 2020.
  
- XI. REPORT OF THE STAFF** – Ms. Brestrup reported that the town has been awarded \$129,000 from the MassDOT Shared Streets and Spaces grant program. The funding will be used to do various things in the downtown to support local businesses and restaurants including the purchase of outdoor heaters, restriping parts of the roadway and plantings.

**XII. ADJOURNMENT**

The meeting adjourned at 9:29 p.m.

Respectfully submitted:

Approved:

\_\_\_\_\_  
Pamela Field-Sadler  
Administrative Asst.

\_\_\_\_\_  
Jack Jemsek  
Acting Chair

DATE: \_\_\_\_\_



# AMHERST Massachusetts

TOWN HALL • 4 BOLTWOOD AVENUE • AMHERST, MA 01002-2302

Planning Board

## SITE PLAN REVIEW APPLICATION

**For Office Use Only**

Application # SPR 2021-03 Received by Planning Dep: 10-9-28-2020  
 Reference # 57532 Filed with town clerk: 10-5-2020  
 Fee Paid: \$ 375.00 (65 days from date filed): 12-9-2020  
 Town Clerk: Susan Ouellette  
 Book: 16 Page: 05 Acting town clerk

### APPLICANT INFORMATION:

Applicant: Emily Dickinson Museum  
 Address: (Trustees of Amherst College)  
280 Main Street  
Amherst, MA 01002  
 Telephone: 413-542-2154  
 Fax: 413-542-2152  
 Email: jwald@emilydickinsonmuseum.org

### ATTORNEY/DESIGNER/CONSULTANT:

Martha H. Lyon, ASLA  
 Address: 313 Elm Street  
Northampton, MA 01060  
 Telephone: 413-586-4178  
 Fax: \_\_\_\_\_  
 Email: mhl@marthalyon.com

### IS THIS AN AMENDMENT TO A PREVIOUSLY GRANTED PERMIT?

Yes  No

### NAME AND BRIEF DESCRIPTION OF PROJECT:

The project involves installing a permeable pedestrian path between the two homes, including lighting this pathway.  
The project also involves illuminating the facades of both historic homes. The project involves removing 9 trees north of existing path, grinding the stumps, and restoration seeding. The project involves clearing 0.3 acres of saplings (< 6" caliper).

### PROPERTY INFORMATION:

Property Address/Description:  
280 & 214 Main Street - Two adjoining properties containing the homes of Emily Dickinson and her brother, Austin Dickinson, operating as a museum

### PROPERTY OWNER:

SAME  
 (if different from applicant)  
 Address: \_\_\_\_\_  
 Telephone: \_\_\_\_\_  
 Email: \_\_\_\_\_

### DEED OF PROPERTY RECORDED IN:

Hampshire Cty. Reg. of Deeds  Mass. Land Court  
 Book: 280 Main: 1465/214 Main: 7267 Page: 280 Main: 585/ 214 Main: 336  
 Map/Parcel: Map 14B/Parcels 26 & 27  
 Zoning District: RG (both properties)

J.H. Wald, Exec. Dir. Emily Dickinson Museum  
 Signature of applicant(s)

J.H. Wald, Exec. Dir. Emily Dickinson Museum  
 Signature of property owner(s)

**SITE PLAN REVIEW APPLICATION**

***This Page for Town Hall Office Use Only:***

Town Reviews (date completed):

Town Engineer		DPW Superintendent	
Fire Chief		Health Department	
Building Commissioner		Conservation Director	
Other:		Other:	

Abutters Notified: \_\_\_\_\_ (date)

Legal Ad Published in Gazette: \_\_\_\_\_ (dates)

Public Hearing Date(s): \_\_\_\_\_

Members Sitting: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Decision: \_\_\_\_\_

Decision Sent to Applicant: \_\_\_\_\_ (date)

Town Clerk/Building Commissioner/Town Engineer notified of Planning Board action: \_\_\_\_\_ (date)

**PLEASE NOTE:** *The Town of Amherst - Planning Board Rules and Regulations, Zoning Bylaw Section 11.2 Site Plan Review, and Landscaping Guidelines (available at the Planning Department office) should be used for reference in completing applications.*

THE FOLLOWING ITEMS ARE REQUIRED WITH THE SITE PLAN REVIEW APPLICATION  
**Please check that each item is attached or completed:**

- This completed Site Plan Review **Application form**.
- A **request for a certified list of abutters** must accompany all site plan applications. The **Planning Department will submit the application** for an Abutters List to the Assessor's Office and send out the abutters notices. It may take up to 10 business days for your certified list to be produced.
- If the property for which the permit is being sought has any tenants or lessees, they must be notified of the application. Please ask for the Planning Department's "**Tenant/Lessee Notification**" instruction sheet.
- Filing fees**

Site Plan Review Fee Calculation:

**1. Standard Calculation**

Minor For Profit Use	\$150 for less than 2,500 sq. ft. of new/alterd lot coverage; \$200 for more than 2,500 or less than 5,000 sq. ft. of new/alterd lot coverage
Non-profit Use	\$100/5,000 sq. ft. new/alterd lot coverage + \$200/5,000 sq. ft. of new GFA; min. \$300
Major For-Profit Use	\$150/\$5,000 sq. ft. new/alterd lot coverage + \$300/5,000 sq. ft. of new GFA; min. \$500

**2. Legal Ads \$75**

Coverage fee	\$ <u>24.00</u>	\$24.00
GFA fee	+ \$ <u>0</u>	\$0
Legal Ads	+ \$ <u>75.00</u>	\$75.00
=		\$99.00
Total fee	\$ <u>99.00</u>	

**Request for Waiver(s)**

If waiver(s) are requested from any of the application requirements in Article II, Section 3B of the Planning Board Rules and Regulations, please indicate in writing here. **List section numbers to be waived and indicate reason(s) for request.**

4 Sign Plan - The project will not change existing signs on the property, and does not involve new signs

6 Traffic Impact - The project will not alter existing vehicular or pedestrian circulation into and out of the Museum nor will it alter or add parking spaces on the property

TOWN OF AMHERST PLANNING BOARD – SITE PLAN REVIEW APPLICATION

**Site Information:**

Lot size \_\_\_\_\_ sq. ft. 3.17 acres Frontage 1,076.8 ft.

Existing land use and classification number (Zoning Bylaw section 3.3): 3.334

Proposed land use and classification number: 3.334

If residential use is proposed, number of dwelling units N/A

<b>Minimum Setback</b>	Front	Required	<u>15</u>	Proposed	<u>15</u>
	Rear	Required	<u>10</u>	Proposed	<u>10</u>
	Side 1	Required	<u>10</u>	Proposed	<u>10</u>
	Side 2	Required	<u>10</u>	Proposed	<u>10</u>

Maximum Lot Coverage Permitted 40 % Proposed \_\_\_\_\_% (Not Applicable - no changes proposed)

Maximum Building Coverage Permitted 25 % Proposed \_\_\_\_\_%

Maximum Building Height Permitted 40' Proposed \_\_\_\_\_

Number of existing buildings on site 3 Total floor area of each: 2,070, 2,456, 700 (SF)

Number of proposed buildings 0 Total floor area of each: 0

Parking Spaces Required 3 Proposed 3

ONE (1) ORIGINAL AND SIX (6) COPIES of the **site plan** at scale 1" = 20', on 24"x36" sheets. Plans shall be prepared by a Registered Professional Engineer, Land Surveyor or Landscape Architect.

**In addition to the site plan**, the Board normally requires the following information/plans unless waived:

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Landscape Plan    | <input type="checkbox"/> Sign plan   |
| <input checked="" type="checkbox"/> Lighting Plan     | <input checked="" type="checkbox"/> Site management plan (See attached Management Plan Form) |
| <input checked="" type="checkbox"/> Soil erosion plan | <input type="checkbox"/> Traffic impact statement (TIS)                                      |

Information to be included in the site plan and all other required plans is detailed in Section 3B of the Planning Board Rules and Regulations.



# AMHERST Massachusetts

TOWN HALL • 4 BOLTWOOD AVENUE • AMHERST, MA 01002-2302

## MANAGEMENT PLAN FORM

The Rules and Regulations of both the Planning Board and the Zoning Board of Appeals require that applicants submit a management plan as part of the process for most applications.

### APPLICANT INFORMATION:

Applicant: Emily Dickinson Museum  
Address: (Trustees of Amherst College)  
280 Main Street, Amherst, MA 01002  
Telephone: 413-542-2154  
Email: jwald@emilydickinsonmuseum.org

Owner: Same  
*(if different from applicant)*  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Telephone: \_\_\_\_\_  
Email: \_\_\_\_\_

### PROJECT INFORMATION:

#### Project Address and Description:

The project involves installing a new pedestrian path between the two homes,  
including lighting this pathway. In addition, the facades of the two homes  
will be illuminated during evening hours. 9 trees and 0.3 acres of  
saplings (<6" caliper) will be removed.

Amendment to previously approved management plan?

yes                       no

### INFORMATION REQUIRED FOR ALL PROJECTS:

*(Attach additional sheets as necessary)*

Trash and recycling, including storage location, enclosure or screening, with frequency of pickup and name of hauling company, and responsible party to contact in case of complaint:

Trash and recycling at the Museum is stored in the garage, located at the northwest corner of the Homestead  
building. The garage doors are closed at all times. The maintenance staff of Amherst College hauls trash and recycling  
weekly, and this schedule will remain during and after the project is completed.

Parking, including size and number of spaces, location, screening, provision for handicapped spaces:

The Museum provides one space for a staff vehicle and two spaces for handicapped vehicles along the north side of the  
Homestead. The parking area is tucked behind the Homestead building, and is therefore not visible from the street.

Visitors to the Homestead who do not require a handicapped parking space are encouraged to use the metered parking  
along Main Street. The number, location, screening of parking spaces will not be affected by the project.

Lighting, including hours of illumination by location, types and wallage of fixtures:

Facade illumination and pathway lighting hours of operation are dusk to about 10 p.m. daily.

Attached is a Lighting Plan, fixture cut sheets, and elevations showing the areas to be illuminated.

There is a combination of downward cast lights mounted in trees, directional lights mounted in trees and on posts,  
lights highlighting the architecture, and downward cast pathway lights.

Signage, including location, size, materials, and any illumination:

The Emily Dickinson Museum currently maintains identification and directional signs at the intersection of Triangle and Main Streets, near the vehicular entrance to the Homestead, and along the south property edge (Main Street) between

The Homestead and The Evergreens and at the west end of the Evergreens property. The proposed project will not impact or alter the look or placement of these signs, and the Museum intends to preserve and maintain the signs as part of the institution's marketing and communication goals.

Landscape Maintenance, including annual schedule of watering, fertilizing, mowing, pruning, leaf pick-up, and so forth, and maintenance and replacement schedule of site furnishings:

Amherst College provides routine maintenance at the museum, including mowing, leaf pick-up and mulching.

Site furnishings and improvements will be inspected yearly for damage and the Museum will make repairs made accordingly.

Snow Removal, including name of contractor:

*(Please see Article IV of the Town Bylaw for regulations regarding the removal of snow and ice from sidewalks)*

Amherst College takes care of snow removal.

**ADDITIONAL INFORMATION FOR SPECIFIC PROJECT TYPES (ATTACH ADDITIONAL SHEETS):**

**ADDITIONAL INFORMATION REQUIRED FOR RESTAURANTS:**

Type of menu  
Number of seats (indoor and outdoor)  
Is any outdoor dining on public or private land?  
Number of employees  
Hours of operation  
Alcohol  
Plans for delivery and/or take-out service  
Live or prerecorded entertainment  
Noise management of patrons, music, fans and HVAC  
Management of patrons gathering outdoors on property  
Odor mitigation measures  
Waste kitchen oil management  
Litter control  
Deliveries to or from the site

**ADDITIONAL INFORMATION REQUIRED FOR PERMIT**

**RENEWALS:**

Special permit #  
Date of issuance  
Any changes to the proposal  
Any changes to the neighborhood

**ADDITIONAL INFORMATION REQUIRED FOR APARTMENTS:**

Number of units, existing and proposed  
Number of bedrooms, existing and proposed  
Number of tenants  
Owner-occupied?  
On-site manager?  
Copy of standard lease  
Noise management of tenants, parties, music, and any outdoor HVAC equipment  
Material, equipment, and large household goods storage  
On-site recreational facilities

**ADDITIONAL INFORMATION REQUIRED FOR HOME**

**OCCUPATIONS:**

Type of business  
Number of Employees  
Hours of operation  
Deliveries to the site  
Equipment used/ Noise generated  
Material and equipment storage

## Emily Dickinson Museum Path and Lighting

The project has three primary components:

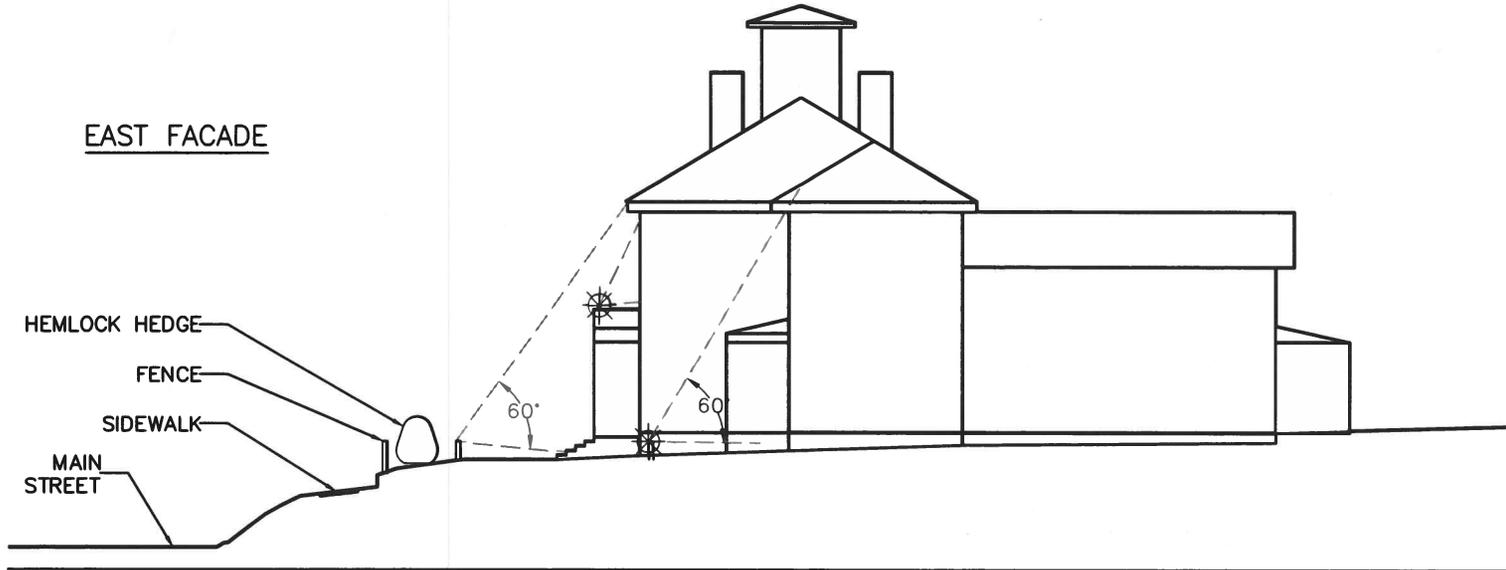
1. Replacing the current pedestrian path between the two homes with a permeable pedestrian path with underdrain. The material being used is a stabilized stone dust path. The location of the path follows the original path from Emily Dickinson's time and differs slightly from the current path. (Refer to L-3 Materials and Layout Plan)
2. Removing the trees just north of the path to recreate the clearing that was there in Dickinson's time. The project will also clear the slope of all saplings (less than 6" caliper). (Refer to L-2 Site Preparation Plan) The area effected is 0.3 acres.
3. Lighting the homes and path.
  - a. Illuminating the historic homes during evening hours, dusk to 10 p.m.
    - i. Light on 18" post projecting at façade (Kichler 12487CBR, PAR36 LED lamp)
    - ii. Narrow wall washing light (Kichler 15485CBR, MR16 LED lamp)
    - iii. Tree mounted light projecting at second story of house (Artisan CSM-10, MR16 lamp)
    - iv. Low bollard style pathway light (FX Luminaire CB, Beacon G4 LED lamp)
    - v. Light mounted on chimney projected at cupola (Kichler 15485CBR, MR16 LED lamp)
    - vi. Flush recessed light projecting at fenceposts (Casper IG3)
  - b. Illuminating the path between the homes using lights mounted in the trees, shining down towards the path. (Kichler 12487CBR, PAR36 LED lamp)
  - c. Toning down the intensity of the security lights at the back of the Homestead and adding similar security lighting at the back of the Evergreens (operating all night).
  - d. Reducing the intensity of the pendant lights at the entrances to both buildings.

Refer to the following drawings:

- L-5 Lighting Plan
- L-6 Homestead East & South Light Elevations
- L-7 Homestead West & North Light Elevations
- L-8 Evergreens Light Elevations
- L-9 Post Light Elevations
- L-10 Evergreens Lighting Demonstration
- L-11 Homestead Lighting Demonstration
- L-12 Landscape Lighting at Old Manse

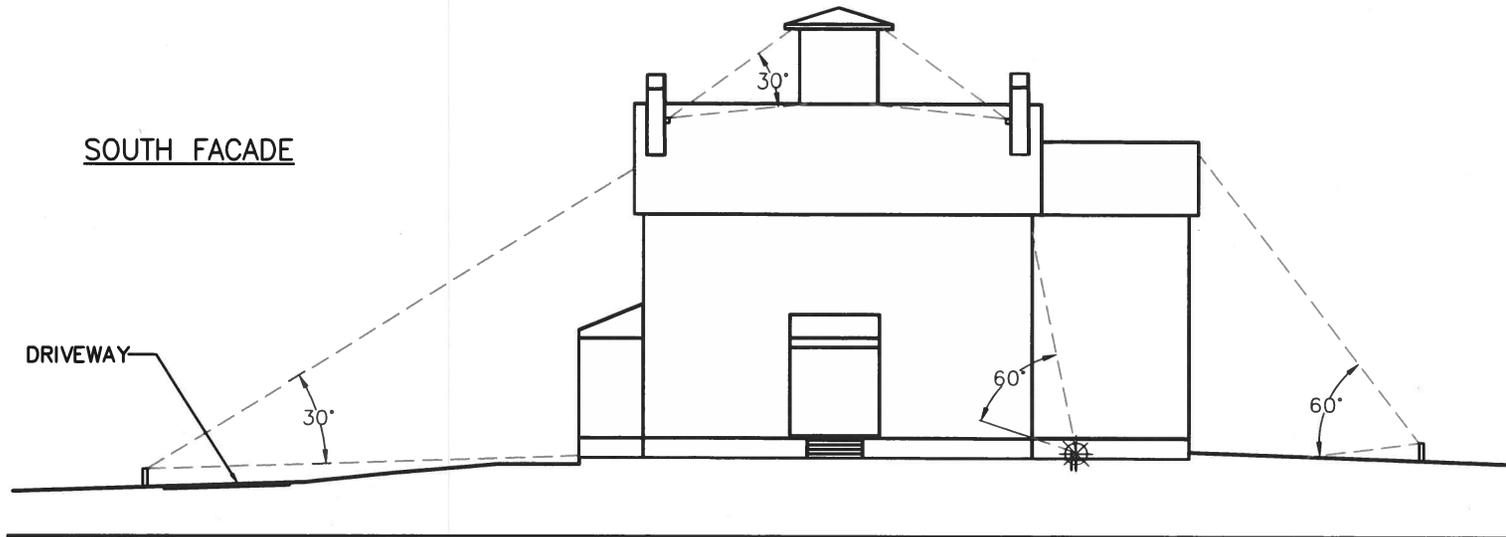
In addition, the lighting demonstration for the Homestead is still in place and can be viewed in the evenings after dark.

EAST FACADE



SCALE: 1" = 20'-0"

SOUTH FACADE

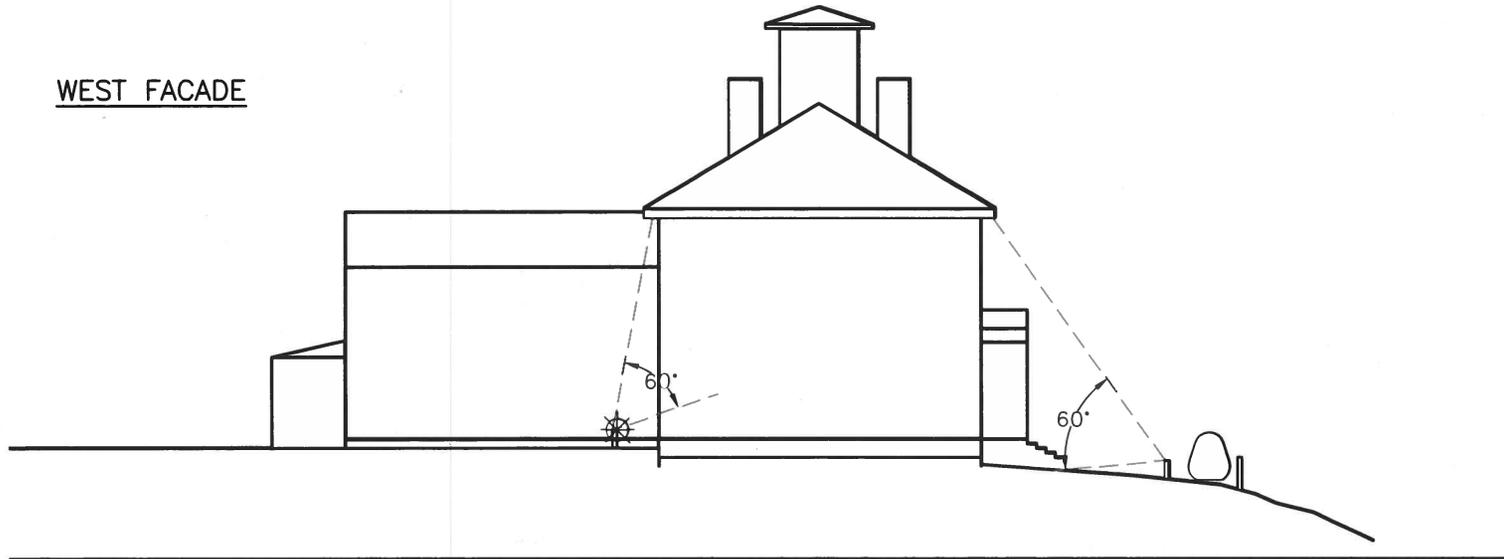


SCALE: 1" = 20'-0"

L - 6 HOMESTEAD LIGHT ELEVATIONS

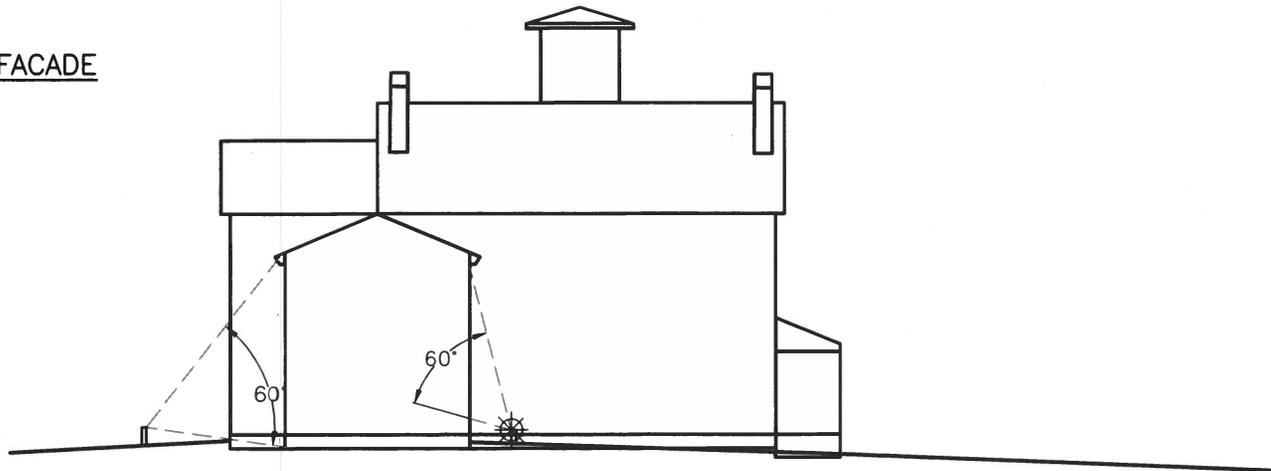
☼ NARROW WALL-WASHING LIGHT  
KICHLER 15485CBR, MR16 LED LAMP

WEST FACADE



SCALE: 1" = 20'-0"

NORTH FACADE

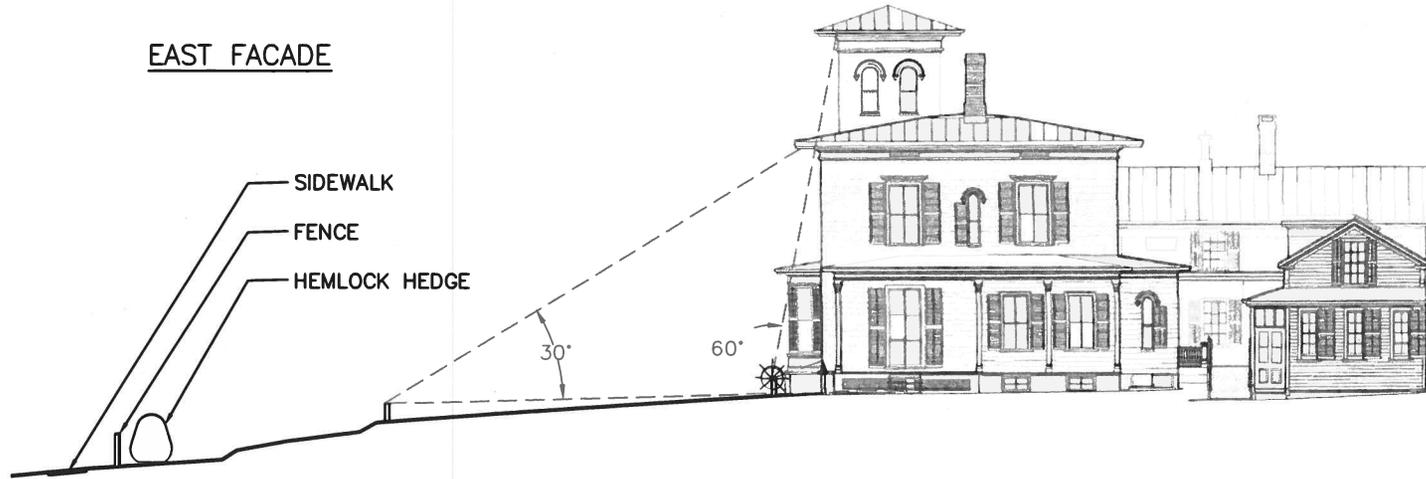


SCALE: 1" = 20'-0"

L-7 HOMESTEAD LIGHT ELEVATIONS

 NARROW WALL-WASHING LIGHT  
KICHLER 15485CBR, MR16 LED LAMP

EAST FACADE



SCALE: 1" = 20'-0"

SOUTH FACADE

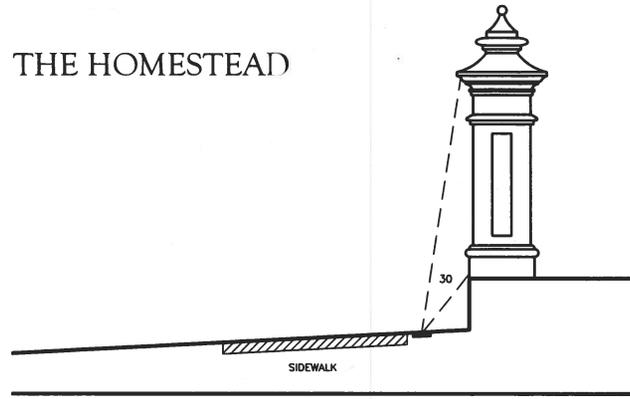


SCALE: 1" = 20'-0"

L - 8 EVERGREENS LIGHT ELEVATIONS

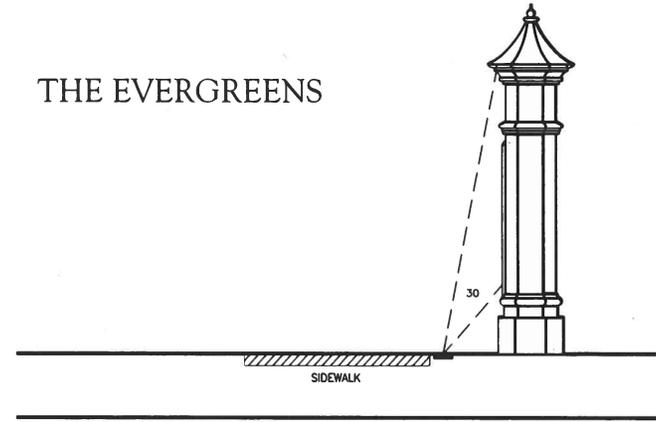
⊗ NARROW WALL-WASHING LIGHT  
KICHLER 15485CBR, MR16 LED LAMP

THE HOMESTEAD

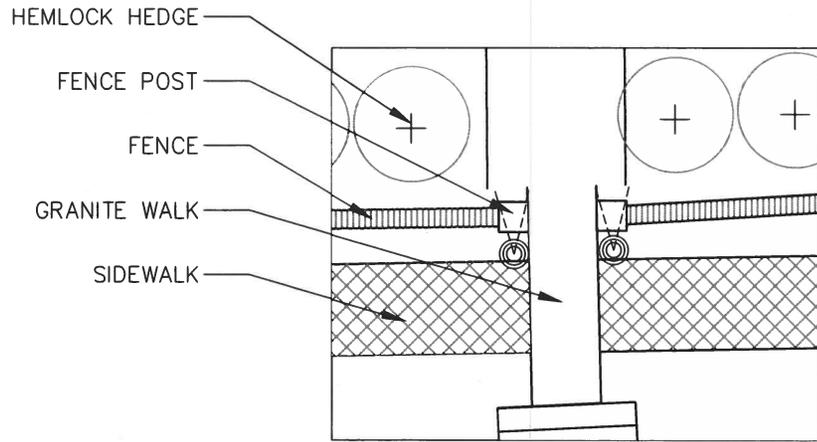


SCALE: 1/4" = 1'-0"

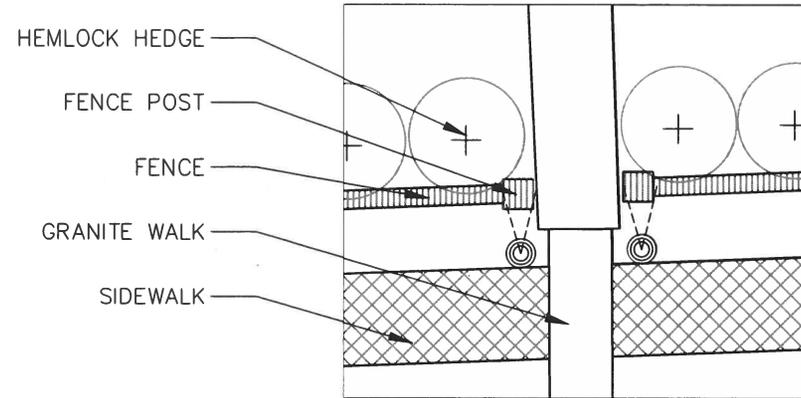
THE EVERGREENS



SCALE: 1/4" = 1'-0"



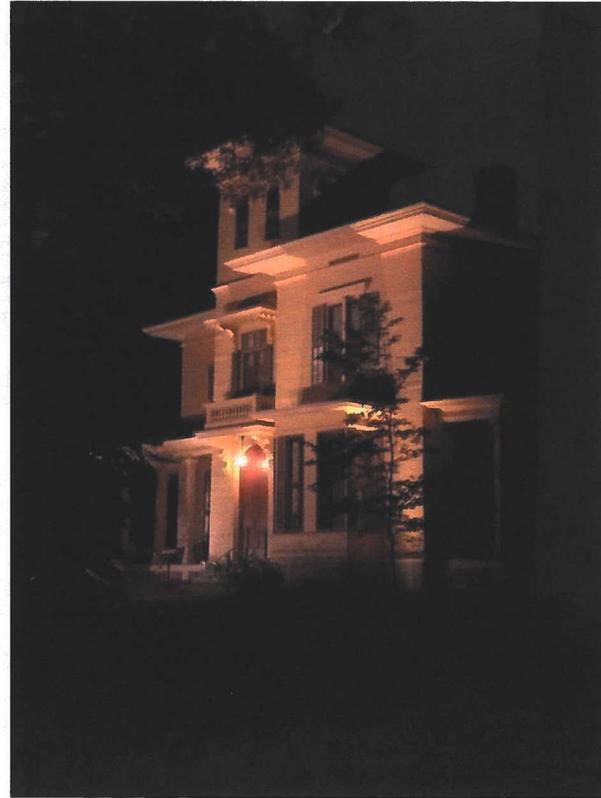
SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

# L - 9 POST LIGHT ELEVATIONS

CASPER IG3 SERIES



L – 10 The Evergreens Lighting Demo



L – 11 The Homestead Lighting Demo



## L – 12 Landscape Lighting at Old Manse

Downward cast lights mounted in trees

The Emily Dickinson Museum will use lights with a shorter shroud and 60 degree lamps resulting in an effect that is more even. (Old Manse has a longer shroud and 45 degree lamps, resulting in a series of spotlights.)

# 2200K PHOTOMETRICS

30°

MR-16 2200K 30° 7W CANDLE POWER= 637.98		
Distance		Foot Candles
2 ft	1' 1"	1363.51
4 ft	2' 2"	340.88
6 ft	3' 3"	151.50
8 ft	4' 3"	85.22
10 ft	5' 4"	54.54
15 ft	8'	24.24
20 ft	10' 9"	13.63
30 ft	16' 1"	6.06
40 ft	21' 5"	3.41
50 ft	26' 10"	2.19

PAR36 2200K 30° 11W CANDLE POWER= 1424.58		
Distance		Foot Candles
2 ft	1' 1"	1686.06
4 ft	2' 2"	421.52
6 ft	3' 3"	187.34
8 ft	4' 3"	105.38
10 ft	5' 4"	67.44
15 ft	8'	29.98
20 ft	10' 9"	16.86
30 ft	16' 1"	7.50
40 ft	21' 5"	4.21
50 ft	26' 10"	2.70

PAR36 2200K 30° 15W CANDLE POWER= 1969.82		
Distance		Foot Candles
2 ft	1' 1"	2207.93
4 ft	2' 2"	551.99
6 ft	3' 3"	245.32
8 ft	4' 3"	137.99
10 ft	5' 4"	88.32
15 ft	8'	39.25
20 ft	10' 9"	22.08
30 ft	16' 1"	9.81
40 ft	21' 5"	5.52
50 ft	26' 10"	3.53

60°

MR-16 2200K 60° 7W CANDLE POWER= 262.22		
Distance		Foot Candles
2 ft	2' 4"	696.25
4 ft	4' 8"	174.06
6 ft	6' 11"	77.36
8 ft	9' 3"	43.51
10 ft	11' 6"	27.85
15 ft	17' 4"	12.38
20 ft	23' 1"	6.96
30 ft	37' 7"	3.10
40 ft	46' 2"	1.74
50 ft	57' 8"	1.12

PAR36 2200K 60° 11W CANDLE POWER= 319.56		
Distance		Foot Candles
2 ft	2' 4"	641.08
4 ft	4' 8"	160.27
6 ft	6' 11"	71.23
8 ft	9' 3"	40.06
10 ft	11' 6"	25.65
15 ft	17' 4"	11.40
20 ft	23' 1"	6.41
30 ft	37' 7"	2.85
40 ft	46' 2"	1.61
50 ft	57' 8"	1.03

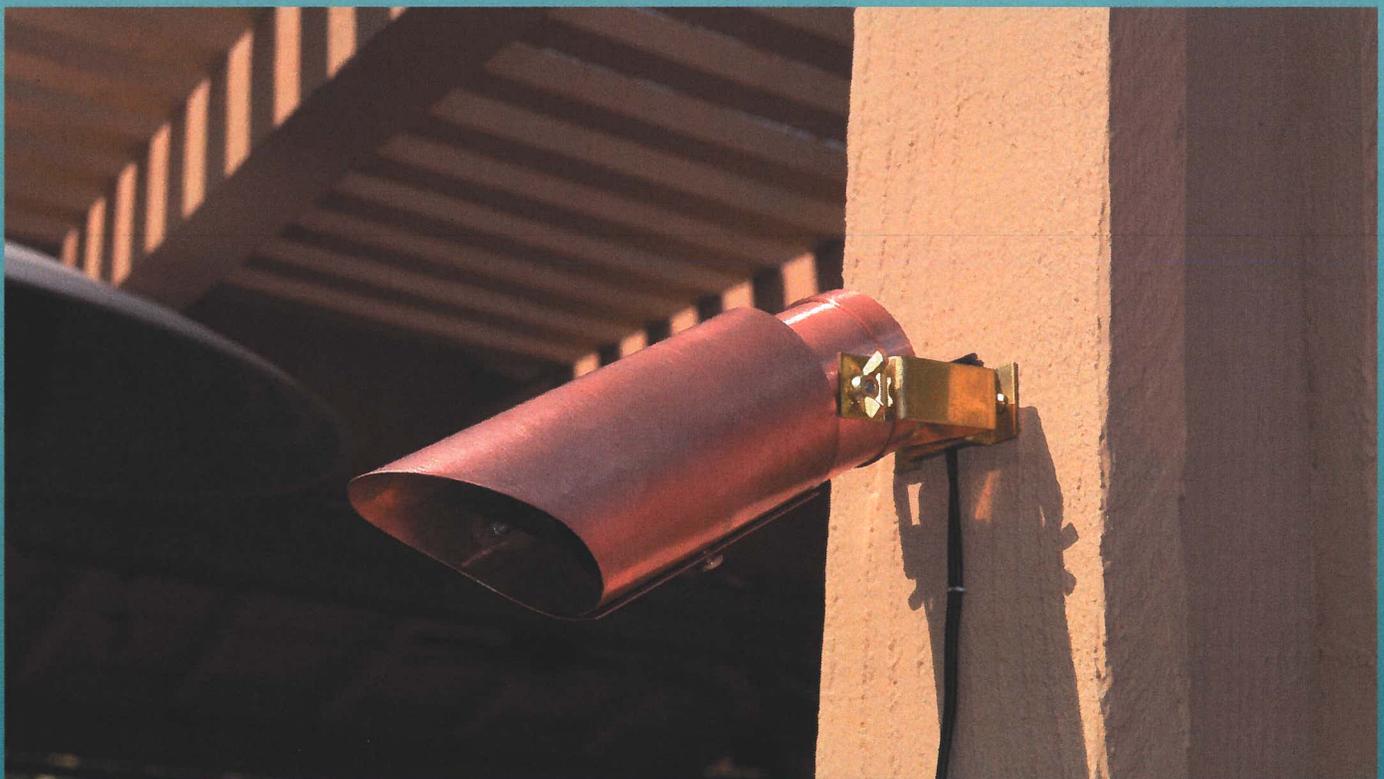
PAR36 2200K 60° 15W CANDLE POWER= 507.89T		
Distance		Foot Candles
2 ft	2' 4"	1119.12
4 ft	4' 8"	279.78
6 ft	6' 11"	124.34
8 ft	9' 3"	69.94
10 ft	11' 6"	44.77
15 ft	17' 4"	19.89
20 ft	23' 1"	11.19
30 ft	37' 7"	4.98
40 ft	46' 2"	2.79
50 ft	57' 8"	1.79



landscape • entertainment • architectural • hospitality • illumination



# CSM-10 SERIES PATH LIGHT





# CUSTOM SURFACE MOUNT BULLET CSM-10 SERIES

TYPE



## SPECIFICATIONS

**CONSTRUCTION:** Surface mount copper directional bullet with Hex Cell Louver & Brass aiming bracket. Adjustable copper cover shield with white or black interior paint.

**LENS:** High impact clear tempered flat glass

**O-RING:** High temperature red silicone

**LAMP SUPPLIED:** 20 watt MR16 (BAB) 10,000 hours average rating (20w total max)

**LAMP OPTIONS:** We recommend 50,000 hour ARROW 4w LED (-LED) or 40,000 hour 5w (-LED5) or 7w (-LED7) ARROW Super Saver LED

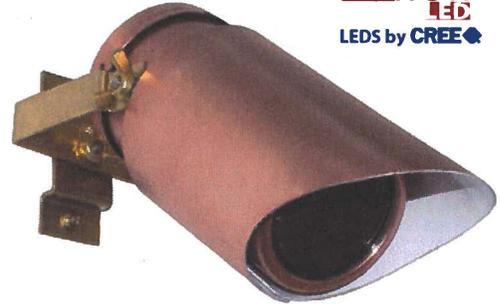
**NOTE:** ARROW LED MR16 must be factory installed to fit properly

**SOCKET:** High temperature ceramic GU5.3 bi-pin with 250°C silicone lead wires

**WIRING:** Black 3 foot 18/2 zip cord from base of fixture (12v only)  
For 25 foot 16/2 fixture lead wire add -25F to catalog number.

**CONNECTION:** FA-05 Quick Connector (not supplied) from fixture to main cable (12/2, 10/2 or 8/2 only)

**FINISH:** Unfinished copper. Optional finishes available



CSM-10-45WSCOP

## ORDERING INFORMATION

CATALOG NO.	DESCRIPTION	LAMP	SHIP WEIGHT
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**WHITE INTERIOR COVER SHIELD:**

<b>CSM-10-45WSCOP</b>	Custom Copper Surface Mount Bullet 4.5" Cover Shield w/ White Interior	20w MR16	2.0 lbs.
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<b>CSM-10-55WSCOP</b>	Custom Copper Surface Mount Bullet 5.5" Cover Shield w/ White Interior	20w MR16	2.0 lbs.
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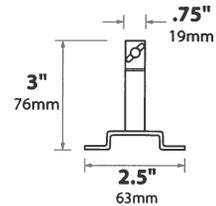
<b>CSM-10-90WSCOP</b>	Custom Copper Surface Mount Bullet 9.0" Cover Shield w/ White Interior	20w MR16	3.0 lbs.
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**BLACK INTERIOR COVER SHIELD:**

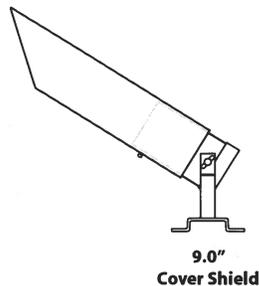
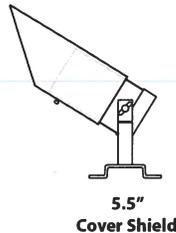
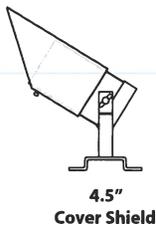
<b>CSM-10-45BSCOP</b>	Custom Copper Surface Mount Bullet 4.5" Cover Shield w/ Black Interior	20w MR16	2.0 lbs.
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<b>CSM-10-55BSCOP</b>	Custom Copper Surface Mount Bullet 5.5" Cover Shield w/ Black Interior	20w MR16	2.0 lbs.
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<b>CSM-10-90BSCOP</b>	Custom Copper Surface Mount Bullet 9.0" Cover Shield w/ Black Interior	20w MR16	3.0 lbs.
-----------------------	--	----------	----------



Bracket Detail



IP54 CE

JOB INFORMATION	
Type:	Date:
Job Name:	
Cat. No.:	
Lamp(s):	
Specifier:	
Contractor:	
Notes:	
FOCUS INDUSTRIES INC. 25301 COMMERCENTRE DRIVE LAKE FOREST, CA 92630	
www.focusindustries.com sales@focusindustries.com (949) 830-1350 • FAX (949) 830-3390	

Black Texture (Standard)	Antique Verde	Bronze Texture	Camel	White Texture	Hunter Texture	Rust	Weathered Iron	Weathered Brown	Stucco	Rubbed Verde	Chrome Powder	Acid Rust	Acid Verde	Black Acid Treatment
-BLT	-ATV	-BRT	-CAM	-WTX	-HTX	-RST	-WIR	-WBR	-STU	-RBV	-CPR	-BAR/CAR	-BAV/CAV	-BAT

# BEACON G4

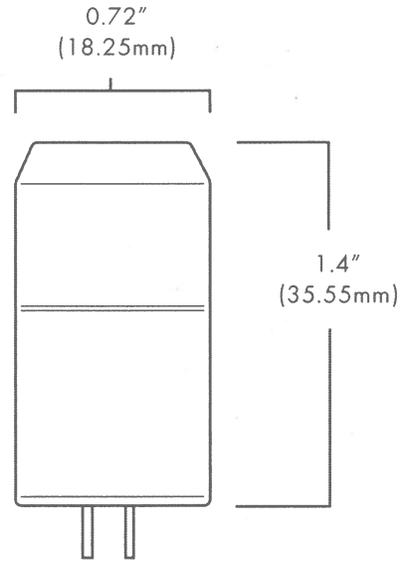
## DESCRIPTION

The Brilliance LED Beacon G4 Bipin is a sub-compact LED that utilizes the Epistar chipset and features Brilliance LED's multi-directional beam pattern. This G4 Bipin is energy efficient and water resistant, designed specifically for landscape retrofit application, and ideal for pathway lighting fixtures and step lights.

## FEATURES

- Ceramic technology
- Dimmable with Brilliance dimmer and most magnetic transformers

Wattage	<b>2</b>
Lumens	<b>200</b>
Beam Spread	<b>Omni-directional</b>
Kelvin Temperature	<b>2700, 3000, 5700</b>
Operating Range	<b>8-25 VAC</b>
Replaces	<b>20W Halogen</b>
CRI	<b>84</b>
IP	<b>65</b>
Chipset	<b>Epistar</b>
Lamp Life (hours)	<b>35,000</b>
Warranty (years)	<b>5</b>



Part Number: **BRI-BEACON-G4-XXXX**

|  
Kelvin





*The CB makes a beautiful addition to the landscape with its sophisticated styling and first-class quality construction. Milled from heavy gauge solid copper and stainless steel hardware, this finely crafted path light brings elegance to any fine lighting project.*

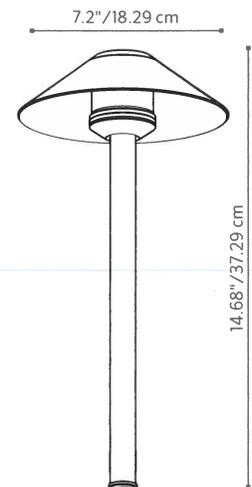
## CB: Path Light



### *Capture the Night*

With clean lines and an organic patina, the CB blends artfully into its surroundings while illuminating the area with a soft glow.

Use the CB to bring subtle and functional focus to an area without detracting from the main features.





# CB: Path Light

**FACTORY INSTALLED OPTIONS:** Order 1 + 2 + 3 + 4

Step	Description	Code
1	FIXTURE	CB
2	LAMP	10, 15 (10,000 Hr Xenon), 20 (5,000 Hr Xenon), 10H, 20H (2,000 Hr Xenon)
3	RISER OPTIONS	8R, 12R, 18R, 24R, 36R
4	FINISH	CU, NP, WG, FW, AL, BZ, DG, WI, VF, SB, FB

**EXAMPLE:** CB-10-12R-WI = CB - 10W Xenon Lamp - 12" Riser - Weathered Iron Finish

**FIELD INSTALLED OPTIONS:** Order Individually

Mounts				
Long Slot Spike (250015840000) 2.5" x 10" <b>Included</b> ▶				
Super Slot Spike (753900) 2" x 10"				
SuperJ-Box (SJ-XX**) 2.5" x 12"				
Post Mount (PM-XX**) 2.5" x 13"				
	Long Slot Spike	Super Slot Spike	Super J-Box XX**	Post Mount XX**

**EXAMPLE:** 753900 = Super Slot Spike

**PHOTOMETRICS:**

Spacing for minimum footcandle illumination on level ground.	Circular light pattern	Footcandles:		
 <p>Note: 1fc for commercial projects .3fc for residential projects</p>	14'	DISTANCE	CA-10	CA-20
	12'	2'	1.5	3
	10'	4'	.31	.88
	8'	6'	.14	.33
	6'	8'	.08	.14
	4'	10'	.03	.08
	2'	12'	.01	.03
		14'	0	.01

For conversion to lumens: Multiply footcandles x 10. See FX glossary for a full description of fc and lumens.

**METALS**

 **CU** = Copper

 **NP** = Nickel Plate\*

**POWDER COAT**

 **WG** = White Gloss

 **FW** = Flat White

 **AL** = Almond

 **BZ** = Bronze Metallic

 **DG** = Desert Granite

 **WI** = Weathered Iron

 **VF** = Verde Speckle

 **SB** = Sedona Brown

 **FB** = Flat Black

The CB includes choice of lamp, riser size, finish, and a Long Slot Spike.

Note: Only the copper portions of the path lights are powder coated. The brass pieces remain natural.

\* May require longer lead time

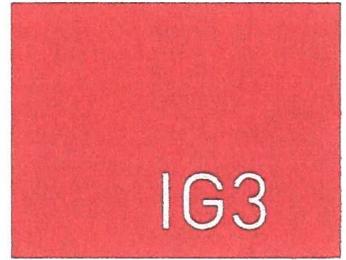
\*\* Denotes finish code





in grade

R10 | oslo  
**CASPER**  
6W LED



## CASPER IG3 :

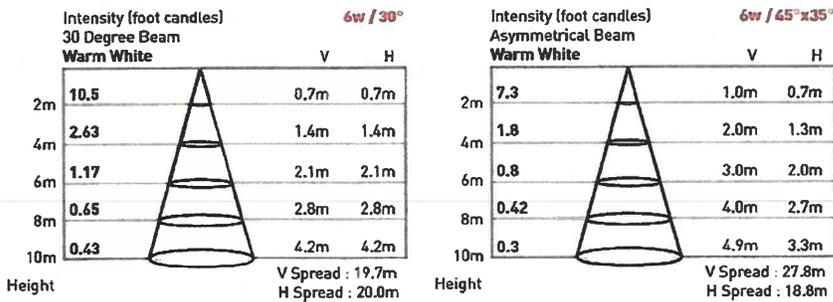
The CASPER IG3 Series of LED In Grade fixtures are perfect for any hardscape illumination application. This compact, yet powerful 6W fixture is great for pergolas, columns, building facades, and different types of plants.

- 5-year warranty
- Long life : 50,000 hours

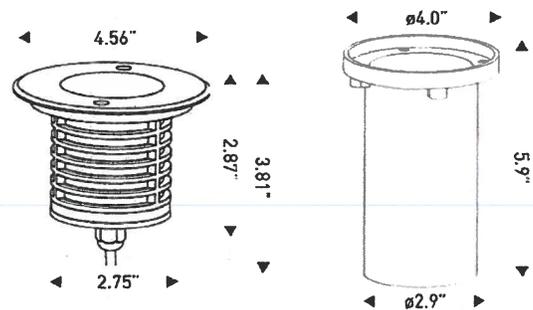
### SPECIFICATIONS

Housing	Die cast aluminum, gray powder coat
Trim Ring	316 <sup>o</sup> stainless steel
Glass	Step-tempered clear glass T=8mm
Loading Capacity	Exert force of $\varnothing\frac{3}{5}$ =2021 pounds
Cable Gland	IP68 PG-9 PVC
Waterproof Seal	Molded shaped double silicone seal
LED	T0 power type
Driver	Single color—1 circuit RGB 3in1—3 circuits
Cord	20 ft
Cord Termination	OSLO Warm White—Tinned wire ends R10 RGB—Male IP68 Quick-Connect
Mounting Sleeve	015 PVC

### PHOTOMETRICS



### DIMENSIONS



Model Number	LED Array	Input Voltage	Color	Beam Angle	Cord Termination	Max Power	LUM Flux
IG3-L32-1AWC-S-20HW	3 x 2W	12VAC	Warm White 3000K	30°	2-wire	5.6W	376
IG3-L32-1AWW-S-20HW	3 x 2W	12VAC	Warm White 3000K	ASY 45°x35°	2-wire	5.6W	376
IG3-L32-2DXC-S-201M	3 x 2W	24VDC	RGB	30°	Male QC Plug	7.7W	Variable
IG3-L32-2DXW-S-201M	3 x 2W	24VDC	RGB	ASY 45°x35°	Male QC Plug	7.7W	Variable



illuminfx reserves the right to make changes to specifications at any time with or without notice

**12V MR-16 Adjustable Cowl Brass Accent-Centennial Brass**

15485CBR (Centennial Brass)

Project Name: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Qty: \_\_\_\_\_  
 Comments: \_\_\_\_\_



**Certifications/Qualifications**

Location Rating	Wet
Prop65	Yes
<a href="http://www.kichler.com/warranty">www.kichler.com/warranty</a>	

**Dimensions**

Height	2.50"
Length	6.00"
Width	2.50"

**Electrical**

Input Voltage	Single(120)V
Operating Voltage Range	12 VAC
Voltage	12V

**Primary Lamping**

Lamp Included	Not Included
Lamp Type	MR16
Light Source	Incandescent
Max or Nominal Watt	4.00

**Product/Ordering Information**

SKU	15485CBR
Finish	Brass
UPC	783927540100

**Optional Lamping**

2700K LED MR16 4W 15 Degree	18126
3000K LED MR16 4W 15 Degree	18127
2700K LED MR16 4W 25 Degree	18128
3000K LED MR16 4W 25 Degree	18129
2700K LED MR16 4W 40 Degree	18130
3000K LED MR16 4W 40 Degree	18131
2700K LED MR16 4W 60 Degree	18132
3000K LED MR16 4W 60 Degree	18133
2700K LED MR16 5W 15 Degree	18134
3000K LED MR16 5W 15 Degree	18135
2700K LED MR16 5W 25 Degree	18136
3000K LED MR16 5W 25 Degree	18137
2700K LED MR16 5W 40 Degree	18138
3000K LED MR16 5W 40 Degree	18139
2700K LED MR16 5W 60 Degree	18140
3000K LED MR16 5W 60 Degree	18141
2700K LED MR16 7W 15 Degree	18142
3000K LED MR16 7W 15 Degree	18143
2700K LED MR16 7W 25 Degree	18144
3000K LED MR16 7W 25 Degree	18145
2700K LED MR16 7W 40 Degree	18146
3000K LED MR16 7W 40 Degree	18147
2700K LED MR16 7W 60 Degree	18148
3000K LED MR16 7W 60 Degree	18149

**Specifications**

Material	BRASS
----------	-------

**Additional Finishes**

- Centennial Brass

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**Kichler**

7711 East Pleasant Valley Road Cleveland, Ohio 44131-8010  
Toll free: 866.558.5706 or kichler.com

**Notes:**

- 1) Information provided is subject to change without notice. All values are design or typical values when measured under laboratory conditions.
- 2) Incandescent Equivalent: The incandescent equivalent as presented is an approximate number and is for reference only.

**KICHLER®**

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# 12V PAR 36 Brass Uplight Accent Light Centennial Brass

15487CBR (Centennial Brass)



Project Name: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Qty: \_\_\_\_\_  
 Comments: \_\_\_\_\_

## Certifications/Qualifications

Location Rating	Wet
Prop65	Yes
<a href="http://www.kichler.com/warranty">www.kichler.com/warranty</a>	

## Dimensions

Height	5.75"
Length	7.25"
Width	4.50"

## Electrical

Input Voltage	Single(120)V
Operating Voltage Range	12 VAC
Voltage	12V

## Primary Lamping

Lamp Included	Not Included
Lamp Type	PAR36
Light Source	Incandescent
Max or Nominal Watt	14.00

## Product/Ordering Information

SKU	15487CBR
Finish	Brass
UPC	783927540957

## Optional Lamping

2700K LED PAR36 4W 15 Degree	18166
3000K LED PAR36 4W 15 Degree	18167
2700K LED PAR36 4W 25 Degree	18168
3000K LED PAR36 4W 25 Degree	18169
2700K LED PAR36 4W 40 Degree	18170
3000K LED PAR36 4W 40 Degree	18171
3000K LED PAR36 4W 60 Degree	18173
2700K LED PAR36 6W 15 Degree	18174
3000K LED PAR36 6W 15 Degree	18175
2700K LED PAR36 6W 25 Degree	18176
2700K LED PAR36 6W 40 Degree	18178
3000K LED PAR36 6W 40 Degree	18179
3000K LED PAR36 6W 60 Degree	18181
2700K LED PAR36 10W 15 Degree	18182
3000K LED PAR36 10W 15 Degree	18183
2700K LED PAR36 10W 25 Degree	18184
3000K LED PAR36 10W 25 Degree	18185
2700K LED PAR36 10W 40 Degree	18186
3000K LED PAR36 10W 40 Degree	18187

Degree		
2700K LED PAR36 10W 60		18188
Degree		
3000K LED PAR36 10W 60		18189
Degree		
2700K LED PAR36 14W 15		18190
Degree		
3000K LED PAR36 14W 15		18191
Degree		
3000K LED PAR36 14W 25		18193
Degree		
14W ANSI PAR36 40 Degree		18194
2700K BK		
3000K LED PAR36 14W 40		18195
Degree		
2700K LED PAR36 14W 60		18196
Degree		
3000K LED PAR36 14W 60		18197
Degree		

### Specifications

Material	BRASS
----------	-------

### Additional Finishes



Centennial Brass

#### Kichler

7711 East Pleasant Valley Road Cleveland, Ohio 44131-8010  
Toll free: 866.558.5706 or kichler.com

#### Notes:

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- 2) Incandescent Equivalent: The incandescent equivalent as presented is an approximate number and is for reference only.

**KICHLER.**

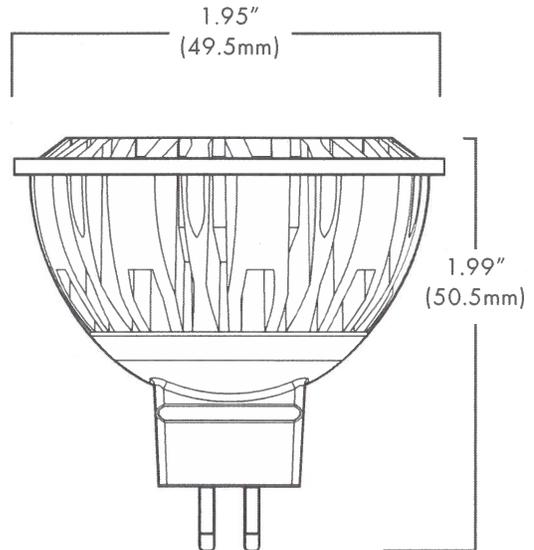
# MR16

## DESCRIPTION

The Brilliance LED MR16 Bipin is designed to better fit into standard, low voltage, MR16 fixtures and have a longer lamp life. These LEDs are thermally engineered to operate in enclosed fixtures and provide added security by automatically cooling down, and reducing lumen output when exposed to extreme heat (air temperatures above 125°F). There is no color shift when lumen output is reduced.

## FEATURES

- Gen 5 earth tone colored housing
- Dimmable with most magnetic transformers
- Enhanced ESD (Electro-Static Discharge) protection (IEC-61000-4-2)
- Heat overload protection technology
- Fully potted PC board
- UL & FCC compliant



Part Number: **MR16-X-XXXX-XXX**

Wattage | Kelvin/Color | Beam spread

Wattage	<b>4, 5, 7</b>
Beam Spread	<b>15°, 30°, 60°, 120°</b>
Color (4&5W)	<b>Red, Green, Blue, Amber, Silver Green (5W)</b>
Operating Range	<b>8-25 VAC</b>
Replaces	<b>20W, 35W, 50W Halogen</b>
CRI	<b>85</b>
IP	<b>61</b>
Chipset	<b>CREE</b>
Lamp Life (hours)	<b>50,000</b>
Warranty (years)	<b>5</b>



Lumens	2200K	2700K	3000K	5700K
<b>4W</b>	275	325	350	400
<b>5W</b>	300	380	400	450
<b>7W</b>	600	690	715	750

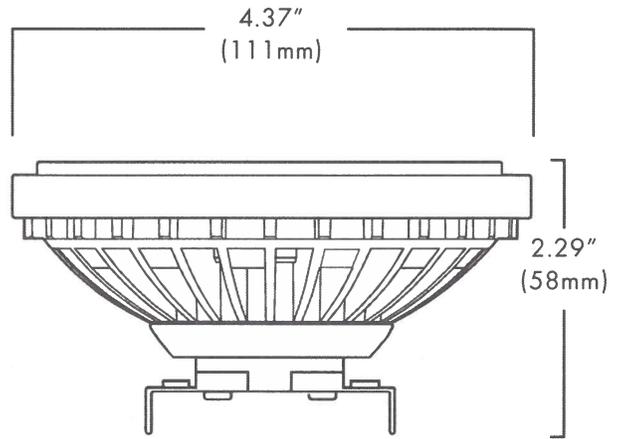
# PAR36

## DESCRIPTION

The Brilliance LED PAR36 Bipin is designed to better fit into standard, low voltage, PAR36 fixtures and have a longer lamp life. These LEDs are thermally engineered to operate in enclosed fixtures and provide added security by automatically cooling down, and reducing lumen output when exposed to extreme heat (air temperatures above 125°F). There is no color shift when lumen output is reduced

## FEATURES

- Gen 5 earth tone colored housing
- Dimmable with most magnetic transformers
- Enhanced ESD (Electro-Static Discharge) protection (IEC-61000-4-2)
- Heat overload protection technology
- Fully potted PC board
- UL & FCC compliant



Part Number: **PAR36-X-XXXX-XXX**

Wattage | Kelvin/Color | Beam spread

Wattage	<b>4, 7, 11, 15</b>
Beam Spread	<b>15°, 30°, 60°, 120°</b>
Color	<b>Red, Green, Blue, Amber, Silver Green (Color in 7&amp;11W only)</b>
Kelvin Temperature	<b>2200, 2700, 3000, 5700</b>
Operating Range	<b>8-25 VAC</b>
Replaces	<b>20W, 35W, 50W Halogen</b>
CRI	<b>85</b>
IP	<b>68</b>
Chipset	<b>CREE</b>
Lamp Life (hours)	<b>50,000</b>
Warranty (years)	<b>5</b>



Lumens		<b>2200K</b>	<b>2700K</b>	<b>3000K</b>	<b>5700K</b>
<b>4W</b>	NA	435	470	520	
<b>7W</b>	600	675	700	800	
<b>11W</b>	800	900	950	1150	
<b>15W</b>	1100	1430	1530	1650	

**NOTES**

**EXISTING CONDITIONS NOTES**

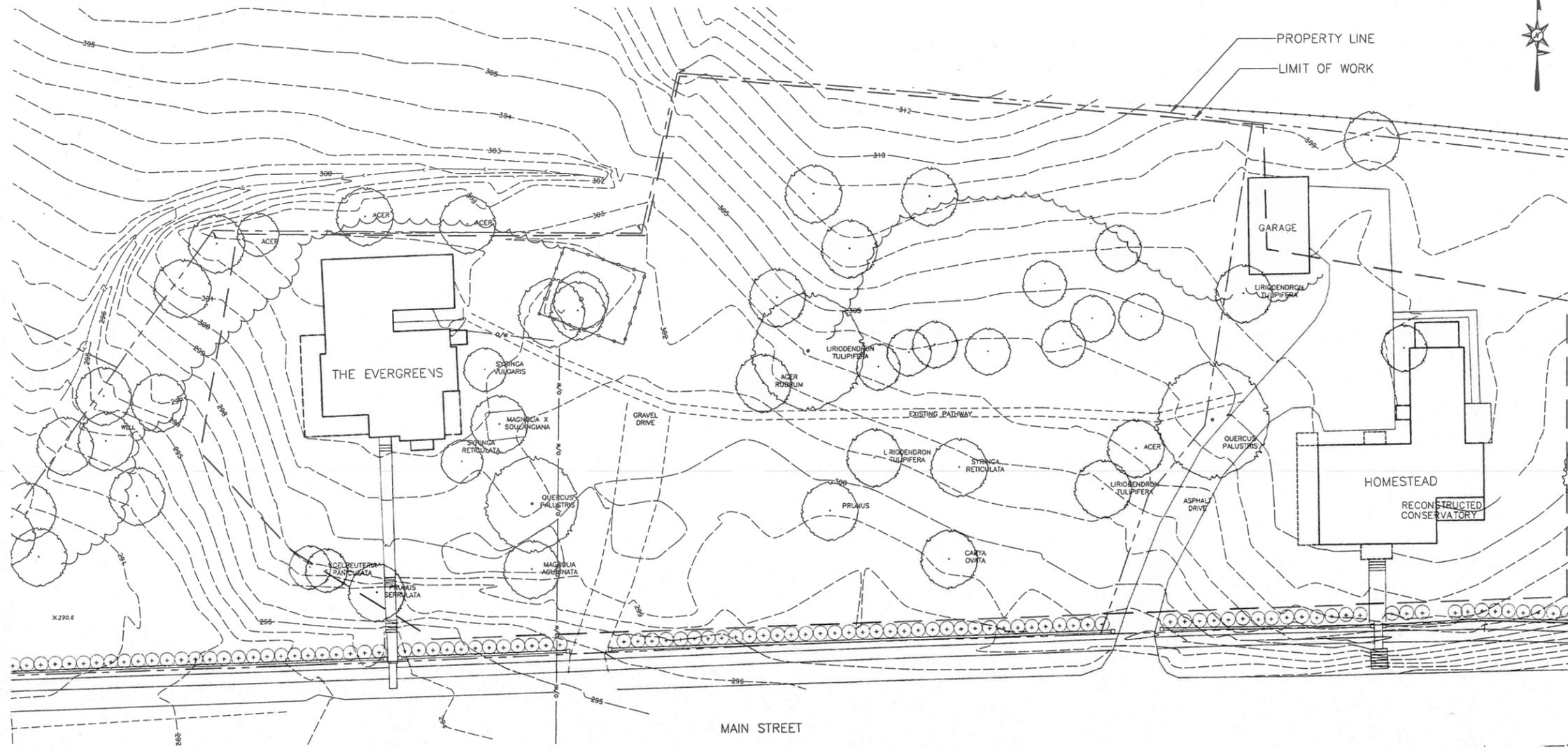
- Existing conditions information adopted from (1) survey prepared on June 12, 2008 for the Emily Dickinson Museum, 280 Main Street, Amherst, Massachusetts, 01002 by Harold L. Eaton & Associates, 235 Russell Street, Hadley, Massachusetts, 01035, 413-584-7599; (2) TOPOGRAPHIC SURVEY MAP PREPARED FOR MARTHA LYON LANDSCAPE ARCHITECTURE, LLC, OWNER: TOWN OF AMHERST & TRUSTEES OF AMHERST COLLEGE, prepared December 3, 2015 by CME Associates, Inc. 32 Crabtree Lane, Woodstock, CT, 06281; 860-928-7848, Martha Lyon Landscape Architecture, LLC makes no claim or representation as to the accuracy or contents of the information found on this survey.
- Location of former barn structure based on site plans prepared in 1916 by Howe, Manning & Army, courtesy of the Special Collections of the Jones Library, Amherst, MA.
- The location of any utility information shown on this plan is approximate. Harold L. Eaton & Associates, Inc., CME Associates, Inc., and Martha Lyon Landscape Architecture, LLC make no claim to the accuracy or completeness of utilities shown.
- Written dimensions have precedence over scaled dimensions. The contractor shall use caution when scaling reproduced plans. In case of conflict between this plan set and any other drawing and/or specification, the Owner or Owner's Representative shall be notified immediately for clarification.
- Before submitting his/her bid, the Contractor shall visit the site with plans and specifications in hand and shall become thoroughly familiar with all site conditions under which work will be performed.
- The submitter of a bid shall be taken as evidence that such site examination has been made, and difficulties, if any, noted and reported to the Owner or Owner's Representative. Later claims for extra costs of labor, materials and equipment required for any difficulties encountered that could have been foreseen shall not be recognized.

**LEGEND**

-  PROPERTY LINE
-  LIMIT-OF-WORK LINE
-  EXISTING 1' CONTOUR LINE
-  EXISTING 5' CONTOUR LINE
-  EXISTING PATHWAY
-  WOOD FENCE
-  EXISTING DECIDUOUS TREE
-  EXISTING TREE/UNDERSTORY LIMIT



SCALE: 1" = 1000' - 0"



EMILY DICKINSON MUSEUM  
**PATHWAY  
AND  
LIGHTING  
PROJECT**

280 Main Street  
Amherst, Massachusetts 01002

**MARTHA LYON**  
Landscape Architecture, LLC



313 Elm Street  
Northampton, MA 01060  
p: 413-586-4178  
mhl@marthalyon.com  
www.marthalyon.com

**FOR SITE  
PLAN REVIEW**  
  
**NOT FOR  
CONSTRUCTION**



REVISIONS	DATE

PROJECT NO. 163  
DESIGNER PROJECT NO.  
DRAWN: SW CHECKED: MHL  
SCALE: AS NOTED  
ISSUE: 9/25/2020  
SHEET/TITLE

**L1**  
**EXISTING  
CONDITIONS  
PLAN**

Drawing No.

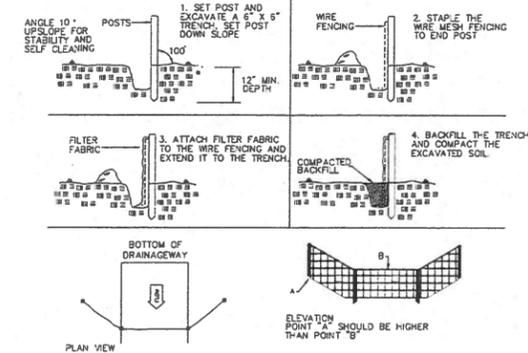
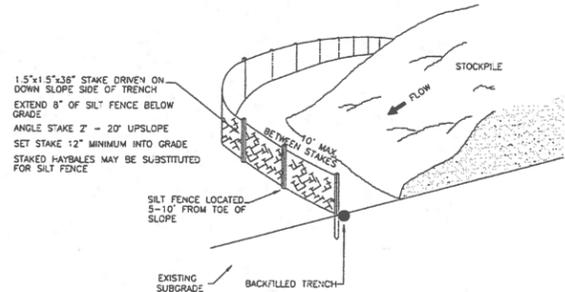
**NOTES**

**DEMOLITION & SITE PREPARATION NOTES**

- Contractor shall verify all conditions in the field and report any discrepancies between these plans and actual field conditions to the Owner or Owner's Representative.
- Contractor shall remove all existing features necessary for the completion of new site work. All materials requiring removal shall be removed to full depth and shall include base material, footings and/or foundations as applicable, and legally disposed of off-site by the contractor or delivered as directed by the Owner.
- Contractor shall strip, as needed, and stockpile topsoil only in areas to be disturbed or regraded. Such stockpile shall be away from dripline of existing vegetation that is to remain.
- Locations of all utilities are shown in the form of diagrams and may be incomplete. Contractor shall verify locations of utilities prior to the start of construction. Any damage to existing utilities done by contractor during construction shall be repaired by the contractor at his/her expense.
- Protection of all existing vegetation to remain shall be the contractor's top priority. Contractor shall install tree protection as indicated. Contractor must not stockpile or park and must minimally perform, any mechanical operations within the dripline of existing trees to remain. Contractor must not store materials nor stockpile soil within the dripline of vegetation to remain and/or within tree protection areas. All fill and excavation required within the dripline of all existing vegetation to remain shall be completed by hand unless otherwise approved by the Owner's Representative.
- The Contractor is responsible for any damage to existing vegetation that is to remain, and may, at the Owner's discretion, be required to replace any and all damaged vegetation.
- Contractor shall consult with one notify the Owner or the Owner's Representative prior to commencing work.
- Contractor shall take care during all excavation due to the possible existence of unrecorded utility lines.
- Contractor is responsible for any damage inside and outside of the work limit line due to his/her contract operations.
- Contractor shall protect and sustain in normal working service all existing utilities, structures, equipment, roadways and driveways.
- Contractor shall exercise extreme caution around all historic features to remain, and shall notify the Owner if any historic features are uncovered during site preparation and/or excavation.

**LEGEND**

- PROPERTY LINE
- LIMIT-OF-WORK LINE
- EXISTING 1' CONTOUR LINE
- EXISTING 5' CONTOUR LINE
- EXISTING PATHWAY
- WOOD FENCE
- EXISTING DECIDUOUS TREE
- EXISTING LANDSCAPE FEATURE OR TREE TO BE REMOVED
- EROSION CONTROL FENCE OR SOCK



**SILT FENCE AT TOE OF SLOPE/PLACEMENT**

NTS

EMILY DICKINSON MUSEUM  
**PATHWAY  
 AND  
 LIGHTING  
 PROJECT**

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 Amherst, Massachusetts 01002

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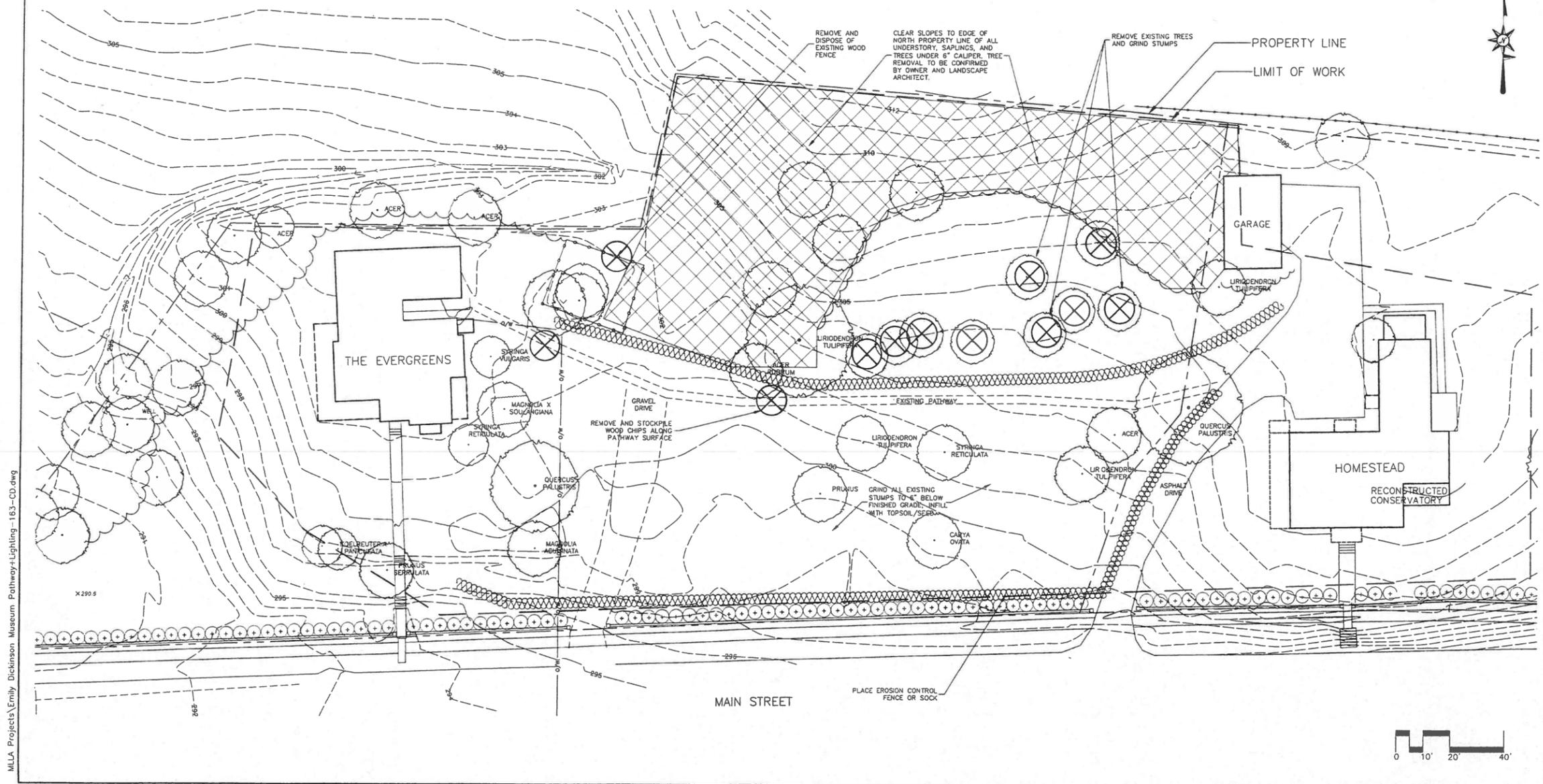


REVISIONS	DATE

PROJECT NO. 183  
 DESIGNER PROJECT NO.  
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 SCALE: AS NOTED  
 ISSUE: 9/25/2020  
 SHEET/TITLE

**L2**  
**SITE PREPARATION  
 & DEMOLITION  
 PLAN**

Drawing No.



MLLA Projects\Emily Dickinson Museum Pathway+Lighting-183-CD.dwg

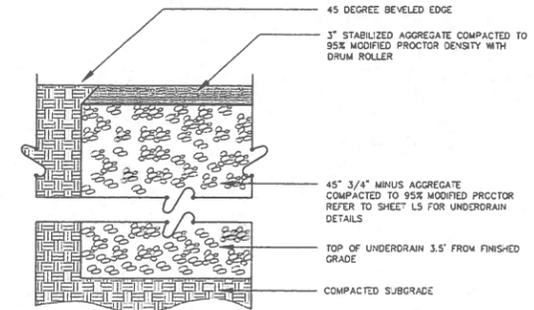
**NOTES**

LAYOUT NOTES

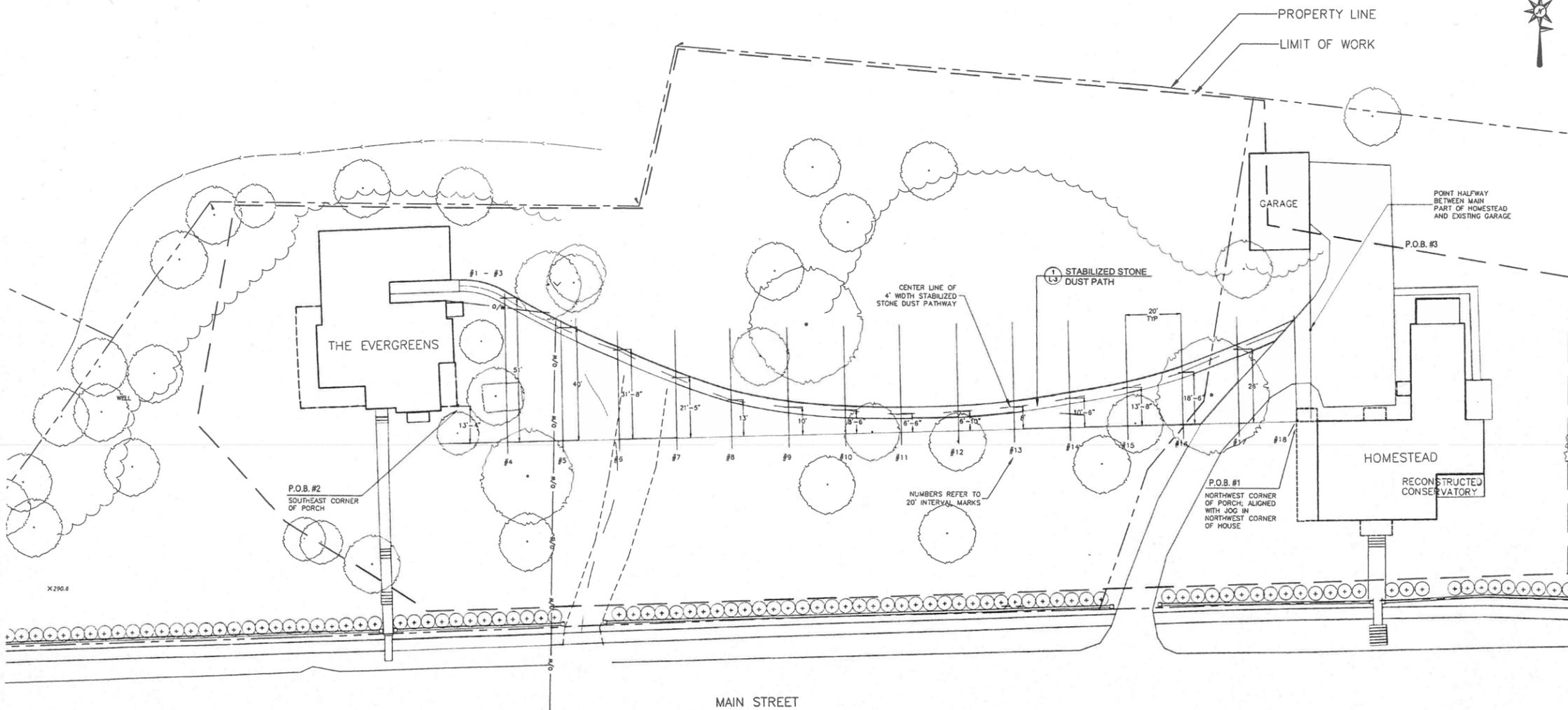
1. Contractor shall comply with all federal, state and municipal regulations.
2. Contractor shall locate and utilize Point(s)-of-Beginning (POB) to layout the site improvements.
3. All lines and dimensions are parallel or perpendicular to the lines from which they measure, unless otherwise indicated.
4. Storage areas for Contractor's equipment and materials shall be within work limit line or as approved by Owner.
5. Where curbing walks are laid out by offsets, Contractor shall provide gentle horizontal curves between offset points. These walks shall be adequately staked and approved by the Owner and/or Landscape Architect prior to construction.
6. All new work shall be staked-out prior to construction.
7. All existing utilities are shown in their relative position. Contractor is responsible for verifying the vertical and horizontal position of all existing utilities prior to construction.
8. Where work limit line meets an existing building or structure, it is assumed that the work limit line continues along the building/structure face.
9. Field adjustments must be approved by the Owner or the Owner's Representative and the appropriate municipal officials prior to construction.
10. Manufactured items shall be installed, connected and cleaned according to the manufacturer's directions.
11. Prior to project closeout, the contractor shall remove all debris and excess materials from the site. Also, any damage to field or factory-applied finished shall be repaired.

**LEGEND**

- PROPERTY LINE
- LIMIT OF WORK LINE
- P.O.B. #1 POINT OF BEGINNING FOR PATHWAY LAYOUT
- PATHWAY CENTERLINE
- (3) DETAIL KEY (DETAIL 3 ON SHEET L-3)
- (O) EXISTING DECIDUOUS TREE TO REMAIN



**1** STABILIZED STONE DUST PATH  
L-3 REFER TO L5 FOR UNDERDRAINAGE DETAIL NTS



EMILY DICKINSON MUSEUM  
**PATHWAY AND LIGHTING PROJECT**

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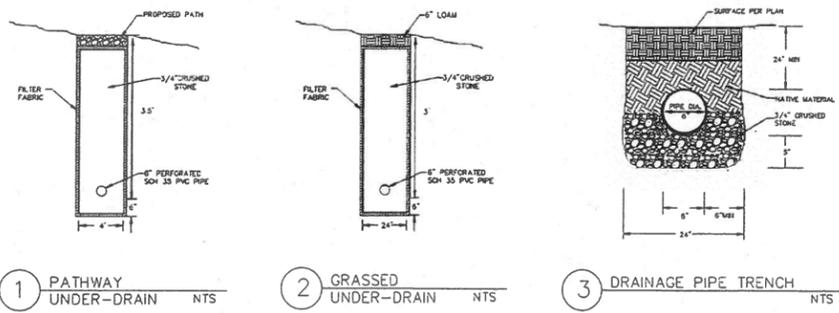
**L3**  
**MATERIALS & LAYOUT PLAN**

Drawing No.

**NOTES**

**GRADING NOTES**

1. Contractor shall stake out grading prior to constructing these improvements to insure positive flow and bring any discrepancies to the immediate attention of the Landscape Architect.
2. Contractor shall maintain existing grade for all surfaces along structures, pavements, walks, curbs and vegetation, except as shown. All new walks and pavements shall meet flush with the line and grade of existing curbs, walks, pavements and structures.
3. Contractor shall install erosion control devices at all inlets, consisting of hay bales staked into place and geotextile fabric placed under all grates and above all frames.
4. Stripped topsoil shall be stockpiled inside of work limit line for future reuse. Hay bales staked into place or erosion control fencing shall be placed at the toe of the slope to prevent erosion.
5. All new erosion control devices must be inspected frequently and repaired as needed.
6. Contractor insure that all water runoff shall drain away from buildings and shall maintain a positive flow toward the inlets, lawn areas and/or planting beds. No ponding shall be allowed.
7. Contractor shall maintain a minimum slope across all pavement, lawn areas and planting bed surfaces of 2%, except as otherwise shown.
8. Contractor shall maintain smooth transitions between paved surfaces and the areas around them.
9. Contractor shall insure that all existing utilities that remain will be brought flush with finished grade as required to prevent dips and tripping hazards.
10. Contractor shall insure that all new drainage structures, if any, are set flush with the finished grade to prevent dips or tripping hazards.
11. Point(s) of construction egress and ingress shall be maintained to prevent tracking or flowing of sediment or debris.
12. Contractor must remove and legally dispose of any unused material and/or debris left after building these site improvements.
13. Contractor shall restore to its original condition all disturbed areas outside of the work limit line at no cost to the Owner or Owner's Representative.



**LEGEND**

---	PROPERTY LINE	+90.35	SPOT GRADE
---	LIMIT-OF-WORK LINE	---	GRASSED UNDER-DRAIN
---	EXISTING 1' CONTOUR LINE	---	PATHWAY UNDER-DRAIN
---	EXISTING 5' CONTOUR LINE	---	DRAINAGE PIPE
---	PROPOSED CONTOUR	---	TRENCH DAM

EMILY DICKINSON MUSEUM  
**PATHWAY AND LIGHTING PROJECT**

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**FOR SITE PLAN REVIEW**

**NOT FOR CONSTRUCTION**

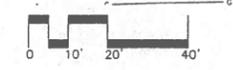
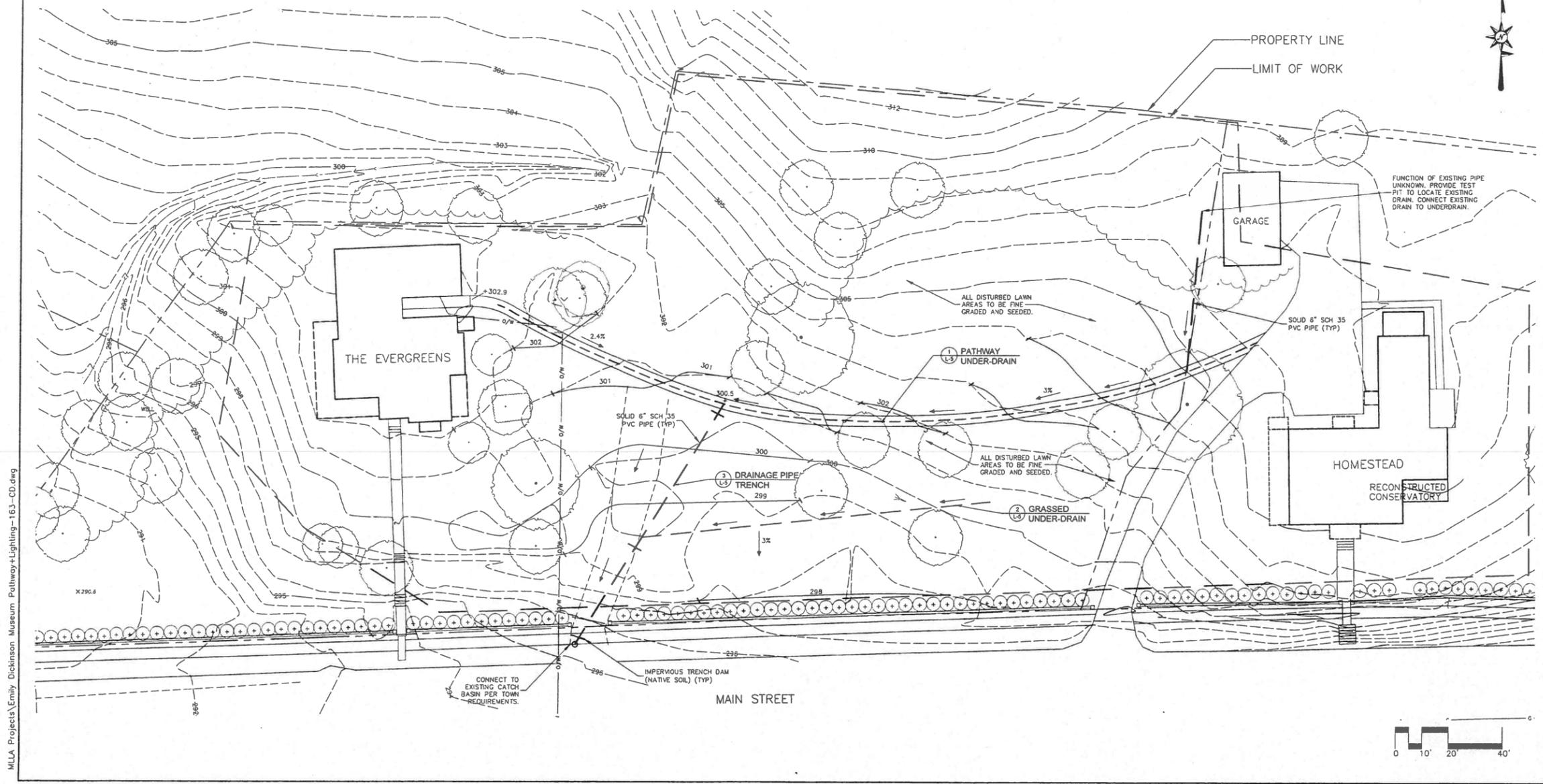


REVISIONS	DATE

PROJECT NO. 163  
DESIGNER PROJECT NO.  
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SCALE: AS NOTED  
ISSUE: 9/25/2020  
SHEET/TITLE

**L4**  
**GRADING AND DRAINAGE PLAN**

Drawing No.



MLLA Projects Emily Dickinson Museum Pathway+Lighting-163-CD.dwg

